



Tender Documents

| | |
|----------------------------|---------------------------------|
| RFT/ JOB (B-Number) | LOCATION |
| BGPNT | 61-63 Pittwater Rd Manly |

DESCRIPTION: The construction of EXTERNAL PAINTING AND OTHER ASSOCIATED WORKS

CONTENTS OF TENDER DOCUMENTS

| Name of document | Location of document (file name) | |
|---|---------------------------------------|--|
| Notices to Tenderers | Notices to Tenderers | |
| Conditions of Tendering | 02 Standard Documents | |
| Conditions of Tendering - Annexure | 01 Project Specific Documents | |
| Safe Design Report | 01 Project Specific Documents | |
| <input checked="" type="checkbox"/> Returnable Tender Form & Schedules | 04 Returnable Tender Form & Schedules | |
| <input checked="" type="checkbox"/> Returnable Schedule of Rate | 03 Returnable Schedule of Rate | |
| Contract Information and Schedules (General Conditions of Contract MW21) | 01 Project Specific Documents | |
| Special Conditions of Contract | 02 Standard Documents | |
| General Conditions of Contract MW21 (Excluding Contract Information and Schedules) | 02 Standard Documents | |
| Reference Specification | 02 Standard Documents | |
| Statement of Business Ethics & Contractor's Code of Conduct | 02 Standard Documents | |
| Exemption for colour scheme A and maintenance works | 01 Project Specific Documents | |
| Architect report | 01 Project Specific Documents | |
| Property Documents | 01 Project Specific Documents | |

Documents not forming part of the Contract

To be completed and included in the tender submission

| | | | |
|-------------------------|-------------|-----------------|--|
| Contact Officer: | Vivian Wei | | |
| Telephone: | 02 93541226 | E- mail: | vivian.wei@facs.nsw.gov.au |

Tenders must be lodged on-line through NSW eTendering Website for the above RFT/JOB and must be received by the prescribed closing date and time:

NSW eTendering Website:
<https://tenders.nsw.gov.au>

TENDERS CLOSE AT 10:00 AM ON:06th Sep 2016

CONDITIONS OF TENDERING

ANNEXURE

VERSION: MW21 MARCH 2014

Prepared by:
Contracts & Quality
LAND & HOUSING CORPORATION
Locked Bag 4009, Ashfield BC NSW 1800

ANNEXURE TO CONDITIONS OF TENDERING

| Clause | Summary | Information |
|--------|---|---|
| 7.2 | Address for lodgement tenders: | https://tenders.nsw.gov.au |
| 7.2 | Time and Date for Lodgement of Tenders: | Refer to the tender documents |
| | Contact person: | Refer to the tender documents |
| | Hours of contact: | 9am – 5pm Monday to Friday |
| 8.2 | Evaluation Criteria: | <p>Tenders shall be evaluated on the basis of the following evaluation criteria. The preferred Tender shall offer the best value for money and have the greatest intrinsic value in meeting the Principal's business objectives.</p> <ul style="list-style-type: none"> • Conformity with the tender documents; • Conformity with the conditions of tendering; • Licensing; • Legal entity; • Price offered compared with estimated cost; • Previous performance on similar works (time, quality, claims, contract and relationships management, technical capacity, WHS, industrial relations and environmental management record) • Current commitments which may impact the Tenderer's ability to complete the Works as required by the Contract; • Financial capacity; <p>At a minimum the contractor must meet the following Criteria:</p> <p>Net Tangible Assets (total assets less any intangibles, less total liabilities) must be greater than 5% of contract value</p> <p>Working Capital (current assets less current liabilities) must be greater than 10% of contract value</p> <p>Current Ratio (ratio of current assets to current liabilities) must be greater than 1.</p> <p>Other Financial Criteria includes:</p> <p>Financial Performance and Liquidity</p> <p>Profitability - profits, margins, overheads over the past three years, Current workload, secured future work and pipeline of future work</p> <p>Liquidity - cash balances over the past three years, availability of overdraft facility, borrowing capacity</p> <p>Aged Receivables and Related Party Loans</p> <p>Ability to recover overdue amounts from customers</p> <p>Ability for the related parties to repay amounts owing to the contractor when called upon during the period of the contract.</p> <ul style="list-style-type: none"> • Compliance with Government Guidelines (Quality Management, WHS Management, Environmental Management, Industrial Relations Management, Training Management, Aboriginal Participation in Construction, Waste Management) <p>Special criteria: N/A</p> |
| 3.1 | Site Information | <p>Reports & other site information available:</p> <p>Property Architecture Drawing</p> <p>Investigations carried out on this site: N/A</p> <p>Other site activities which may affect the site: N/A</p> <p>Other contracts which may affect the site: N/A</p> |
| 5.3 | Site access | <p>Nominated Client Representative for site inspection:</p> <p>Name: Vivian Wei</p> |

| | | |
|-----|---------------------------|--|
| | | <p>Telephone: 02 93541226</p> <p>Facsimile: TBA</p> <p>Email: Vivian.wei@facs.nsw.gov.au</p> <p>The Client representative may be contacted Monday to Friday between 9am and 5pm.</p> <p>Site access restrictions: N/A</p> |
| 3.3 | Provisional sums | Details of any Provisional Sums to be included in the Works: N/A |
| 3.6 | Preferred sub-contractors | Details of preferred sub-contractors: N/A |
| 3.8 | Development Application | Details of Development Application required to be prepared and lodged by the successful Tenderer: N/A |
| 5.4 | Pre-tender meeting | <p>Details of pre-tender meeting:</p> <p>TBA</p> <p>Is attendance at the pre-tender meeting mandatory?</p> <p>Yes</p> <p>Tenders submitted by Tenderers who fail to attend a mandatory pre-tender meeting may be passed over.</p> |
| 6.1 | Alternative tenders | <p>Alternative tenders will not be considered for the following aspects of the Works:</p> <p>Complete job as per SOR items and approved colour scheme</p> <p>Alternative tenders are required for the following aspects of the Works:</p> <p>N/A</p> |
| 6.5 | Tender Concept/Design | Tender Concept/Design: N/A : |
| 8.3 | Acceptance of Tenders | Tenders may be accepted and separate contracts may be awarded for specific sections to different tenderers as follows: N/A |

Safe Design of Structures Report

Purpose of report

This report and the associated process are intended to satisfy the Work, Health and Safety Act 2011 No10, Section 22; Clause 61(3) and Clause 295 of the Work Health and Safety Regulation 2011; and the Safe Design of Structures Code of Practice July 2012.

Process

The Safe Design Report is intended to be a live document developed as part of the design process for each project. Legislation requires designers to prepare the report. LAHC requires a preliminary report at sketch design and a final report to be issued with the Tender Documents. Where possible, risk should be minimised through design. The report must be issued to the Principal Contractor to satisfy Clause 296 of the Work Health and Safety Regulation 2011. It should be kept for the life of the structure.

The adopted process for this report is based upon Workcover NSW's Safety in Design Tool that addresses our obligations under Safety in Design (SiD) Legislation by a series of CHAIR reviews. CHAIR stands for Construction Hazard Assessment Implication Review.

Each CHAIR has a list of guidewords and associated risk issues that are to be identified, assessed, and then managed through either elimination or control. Any unique risks that the design raises in addition to any generic risks that are identified in the pro forma checklists are to be addressed.

- Hazard Identification: Requires the systematic identification of all potential architectural related hazards that could result in injury or illness throughout the lifecycle of the building or structure.
- Risk Assessment: Requires an assessment and prioritisation of each identified risk. Risk's are assessed against the following criteria:
 - Likelihood of Hazard Occurring (H – High, expected to occur; M – Medium, may occur; L – Low, unlikely to occur)
 - Implication if Hazard Occurs (H – High, serious injury or death; M – Medium, significant injury; L – Low, inconvenience, possible injury)
 - Level of Risk (1: Very Low (LxL); 2: Low (LxM or MxL); 3: Medium (MxM); 4: High (MxH or HxM); 5: Very High (HxH) – Note that levels 3, 4 and 5 MUST be managed

- Risk Elimination or Control: Requires those risks rated Medium or higher to be eliminated or If the risk cannot be eliminated, use measures to reduce the risk as far as 'reasonably practicable'.

Limitations

The report is intended to identify the major and reasonably foreseeable risks, which may impact on the safety of parties involved in:

- the construction of the structure or demolition of existing structures.
- the use of the structure.
- the maintenance of the structure.
- any future modifications of the structure.
- the demolition of the structure.

| Project No. | Project Name | Stage | Date of Issue | Revision |
|-------------|----------------------------|-----------------|---------------|----------|
| BGPNT | 61-63 Pittwater Road Manly | Sketch / tender | 08/08/16 | A |

Reference Legislation & Codes

Work Health and Safety Act 2011, NSW Work Health and Safety Amendment Act 2011, NSW Work Health and Safety Regulation 2011, National Construction Code of Australia , Australian Standards.

Reference LAHC policy documents

LAHC Projects Construction Safety Guide Version 2 Oct 2012, Reference Specification for Housing Construction, Statement of Business Ethics & Contractor's Code of Conduct, Design Requirements 2010.

Work Cover

Work Cover Codes of Practice can be found at <http://www.workcover.nsw.gov.au>

| Project No. | Project Name | Stage | Date of Issue | Revision |
|-------------|----------------------------|-----------------|---------------|----------|
| BGPNT | 61-63 Pittwater Road Manly | Sketch / tender | 08/08/16 | A |

Safe Design of Building and Structures Report

| | |
|-----------------------------------|---|
| Project Number and Address | BGPNT 61-63 Pittwater Road Manly |
| Client | LAHC |
| Description of Project | Minor and maintenance works, repainting, repairs |
| Description of Structure | Four storey heritage listed residential building with numerous alterations and additions. |

| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|----------------------------|--|---|--|--|-------------------------------|--|---|
| Site Considerations | | | | | | | |
| | Properties adjacent the site will be occupied during works | People will be in the vicinity of the site and may attempt access to the site Likelihood = M-H Consequences = M-H | Secure site compound must be created; All construction related traffic is to be monitored entering and exiting the site; Designated pedestrian pathways are to be created; Additional signage will be required. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Project site is on a very busy main road | Traffic in close proximity to construction site and associated hazards Likelihood = M Consequences = M | | | | | |
| | Occupied premises | Injury risk to workers outside the construction zone or injury to tenants. | Secure site compound must be created; | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |

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| BGPNT | 61-63 Pittwater Road Manly | Sketch / tender | 08/08/16 | A |

| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|-----------------------------|--|---|--|---------------------------------|------------------------|--|--|
| Environmental Impact | | | | | | | |
| | Dust, noise and seepage | There is risk of increased dust, noise and seepage from the site in all stages of works Likelihood = L Consequences = L | All industry practices to be followed during these phases | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| Egress / Access | | | | | | | |
| | Exit points | Exit points may be blocked during works due to materials storage and other causes Likelihood = L Consequences = M | Ensure that exit points are not blocked during works. Ensure that exit points are left 'clear' and always operational. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Size of emergency egress area | Confined area is available in the Road and in rear lane for emergency egress Likelihood = L Consequences = M | Ensure that exit points are left 'clear' and always operational, and that emergency area is adequate. | | | Removal of the risk by designer is not possible. | Site manager must manage the risk during the occupation of the site for works. |
| | Window operation and repairs/replacement | A number of windows are in areas that may require working at heights Likelihood = L Consequences = H | Where possible, windows can be repaired from inside the building. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |

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| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|---------------------------|---------------------------------|---|---|---------------------------------|------------------------|--|---|
| | Cleaning and repairing the roof | Risk of working at heights associated with accessing, cleaning and repairing the roof Likelihood = M Consequences = M | Certified roof access system is to be installed to the roof for safe access. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. Safe work methods are to be employed when using roof access system. |
| | Balconies and Elevated Decks | Risk of falling from heights and failure of elevated/retained structures Likelihood = L Consequences = M | Full elimination of the risk is not possible; Safety railings and balustrades to be installed as required; soft fall surfaces to be employed where required. Balustrades to be checked at regular intervals | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| Building Materials | | | | | | | |
| | Breathing Hazards | Risk of breathing hazards from VOC's and fine particles Likelihood = M Consequences = H | Safe work methods are to be employed by construction, renovation and demolition teams; Low VOC materials are to be used. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Paints | Risk of VOC's associated with the paints that can be used Likelihood = M Consequences = H | | | | | |

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| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|----------------------|------------------------------------|--|---|---------------------------------|------------------------|--|---|
| | Glues | Risk of VOC's associated with the glues and adhesives that can be used Likelihood = M Consequences = H | | | | | |
| Documentation | | | | | | | |
| | Operations and Maintenance Manuals | Risk that operations and maintenance manuals are not thoroughly documented and handed over at end of the project Likelihood = L Consequences = L | Operations and Maintenance Manuals to be thoroughly documented and handed over at end of each life cycle stage | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Emergencies | Risk that an emergency may not have a clearly defined response Likelihood = M Consequences = H | Emergency Drills and procedures are to be established during the construction/demolition and occupancy phases; Signage is to be provided around the building. | | | Removal of the risk by designer is not possible. | Site manager must manage the risk during the occupation of the site for works. |
| | Records and Reports | Risk that records and reports will not keep abreast of changes during construction and occupancy of the building Likelihood = L Consequences = M | Records for the building are to be updated with any change during the buildings lifecycle. | | | Removal of the risk by designer is not possible. | Site manager must manage the risk during the occupation of the site for works. Occupants must ensure exits remain clear at all times. |

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| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|------------------------------------|------------------------|---|---|---------------------------------|------------------------|---|--|
| Demolition and Construction | | | | | | | |
| | Sequencing | Construction and demolition activities imposing injury risk on surrounding properties Likelihood = M Consequences = M | Works should be arranged so as to minimise risks, by sequenced work of builder/demolition teams; Close communication required with surrounding properties; A designated 'builders compound' can also be used during works. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Equipment requirements | Risk of injury associated with equipment being poorly maintained Likelihood = M Consequences = H | All equipment to be regularly inspected. | | | Removal of the risk by designer is not possible . | Risk must be fully managed by contractors conducting works. |
| | Working at Heights | Risks associated with working at heights Likelihood = M Consequences = H | Safe Work Methods are to be employed when working at heights; Safety equipment is to be used at all times. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |
| | Scaffolding | Risks associated with working at heights and items dropping from heights Likelihood = M Consequences = H | Safe Work Methods are to be employed when working on and around scaffolds; temporary balustrade is to be installed to scaffolds; Safety equipment is to be worn at all times around scaffold. | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |

| Project No. | Project Name | Stage | Date of Issue | Revision |
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| Factors | Risk or issue | Detailed nature of the risk or issue | Initial Construction Phase (including any demolition required for construction) | Operation and Maintenance Phase | Final Demolition Phase | Mitigation by Designer | Residual Risk to be brought to the attention of Tenderers and Asset Owner. |
|-------------------|-----------------------------|--|--|---------------------------------|------------------------|--|--|
| Ergonomics | | | | | | | |
| | Posture and manual handling | Some large and heavy items or materials may be necessary for works Likelihood = M Consequences = M | Allow lifting aids to be used within the site and minimise risks due to manual handling without assistance | | | Removal of the risk by designer is not possible. | Risk must be fully managed by contractors conducting works. |

| Project No. | Project Name | Stage | Date of Issue | Revision |
|-------------|----------------------------|-----------------|---------------|----------|
| BGPNT | 61-63 Pittwater Road Manly | Sketch / tender | 08/08/16 | A |



General Conditions of Contract

MW21

CONTRACT INFORMATION AND SCHEDULES

VERSION: SEPTEMBER 2015

Prepared by:

Contracts & Quality
LAND AND HOUSING CORPORATION
Locked Bag 4009, Ashfield BC NSW 1800

MW21 Contract Information

Project Description

| | |
|---------------------------------------|--|
| The Project and Contract name: | External painting and other associated works |
| The Project and Contract location is: | 61-63 Pittwater Rd Manly |
| The Job number is: | BGPNE |

1. Authorised Person

Mentioned in Clause 1.1

| | |
|---|--|
| The Authorised Person is: | Vivian Wei |
| Title: | Engineer |
| Office address: (for delivery by hand) | L2 31-39 Macquarie Street Parramatta NSW 2150 |

Postal address:
(for delivery by post) Locked Bag 4009 Ashfield BC 1800

Telephone number: 02 93541226
Facsimile number: TBA
e-mail address: vivian.wei@facsnsw.gov.au

If no name is stated, then the Principal is to name the person in writing within seven days after accepting the tender. The Principal may for any reason and at any time change the Authorised Person by giving notice in writing.

2. Purpose of the Works

Mentioned in Clause 3.4

The purpose of the Works is: To improve the state and condition of continually deterioration building complex, and to ascertain structural integrity of the existing balconies.

If no purpose is stated, then the purpose of the Works is as reasonably inferred from the Contract Documents.

3. Milestones

Mentioned in Clause 1.11

There are no Milestones.

4. Post Completion Period

Mentioned in Clause 1.13

The Post Completion Period, which starts when the work under the Contract reaches Completion, is: **26** calendar weeks.

If no time is stated, then 26 calendar weeks Post Completion Period applies.

5. Principal

Mentioned in Clause 1.14

The Principal is: New South Wales Land and Housing Corporation
ABN 24 960 729 253

All correspondence to the Principal is to go to the address of the Authorised Person.

6. Senior Executive

Mentioned in Clause 1.18

The Senior Executive is: Manager Engineering

Where specified, documents must be copied to the Principal's senior executive at the address or number shown here.

Office address: L2 31-39 Macquarie Street Parramatta
(for delivery by hand) NSW 2150

Postal address: Locked Bag 4009 Ashfield BC 1800
(for delivery by post)

Telephone number: 02 93541221

Facsimile number: TBA

e-mail address: girish.pathak@facns.nsw.gov.au

If no name is stated, then the Principal is to name the person in writing within 7 days after accepting the tender. The Principal may for any reason and at any time change the Senior Executive by giving notice in writing.

7. Extent of Design

Mentioned in Clause 3.1

The Contractor is to complete the design that is necessary to comply with
Principal's design to the extent of: Clause 3.4 including the design of
minor items and shop detailing.

8. Design Documents

Mentioned in Clause 3.5

The time to submit the completed design is: not applicable. The Contractor need not
submit the completed design.

If no time is stated, then it is 7 days before the completed design is to be used for construction.

9. Insurance of the Works and Third Party (Public) Liability Insurance

Mentioned in Clause 5.2

Insurance of the Works and Third Party Refer to Special Conditions of Contract

(Public) Liability Insurance are to be arranged by the Principal: clause 6.1

10. Professional Indemnity Insurance

Mentioned in Clause 5.4

Is a Professional Indemnity Insurance policy to be held by the Contractor and/or relevant subcontractors? NO

10A Asbestos Disease Liability Insurance

Minimum cover: Refer to Special Conditions of Contract clause 6.2

10B Personal Accident Insurance

Minimum cover: \$100,000
To cover temporary disablement, permanent disability and death.

11. Site Access

Mentioned in Clause 6.1

The time to give access to the Site is: 7 days after the date of Letter of Award

~~If no time is stated, then it is 14 days after date of Letter of Award~~

12. Time for Completion

Mentioned in Clause 11.1

The time for Completion is: 12 weeks from date of Letter of Award

~~If no time is stated, then a reasonable time is to apply.~~

13. Delay Costs

Mentioned in Clause 12.3

The rate per day for delay costs for the whole of the Works is: \$219

14. Liquidated Damages

Mentioned in Clause 12.6

The rate per day for liquidated damages is:

| |
|---|
| For the whole of the Works: |
| THE SUM OF: |
| 2. Estimated Principal's overhead costs for additional contract administration/ |

inspections per day. ⁽²⁾ for the whole of the Works

2. Estimated Principal's overhead costs for additional contract administration/ inspections rate per day:

| PRINCIPAL'S OVERHEAD COST | 1 | 2 | STAGE APPLICABLE |
|--------------------------------------|---------------------------------|--|--------------------|
| | RATE OF OVERHEAD COSTS PER WEEK | RATE OF OVERHEAD COSTS PER DAY (1 ÷ 7) | |
| Contract Administration/ Inspections | \$270 per week | \$38.57 per day | WHOLE OF THE WORKS |

The rate per day for liquidated damages for the whole of the Works is:

Refer to 14 Liquidated Damages for rates for the whole of the Works

Rates and Definitions stated in 14 Liquidated Damages, as applicable, shall apply.

~~If no rate or "Nil" or "0" or N/A is stated then common law damages apply for the whole of the Works~~

15. Payment Claims

Payment claims are to be made:

monthly, on the first business day of each calendar month. *Mentioned in Clause 13.1*

Schedules

| | | |
|-----------------------------|--|-----|
| Schedule 1 | Unconditional Undertaking - On Behalf of the Contractor | |
| Schedule 2 | Subcontractor's Warranty | N/A |
| Schedule 3 | Payment Claim | |
| Schedule 4 | Certificate of Compliance | N/A |
| Schedule 5 | Agreement with Valuer | N/A |
| Schedule 6 | Expert Determination Procedure | N/A |
| Schedule 7 | Combined Subcontractor's Statement and Supporting Statement by Head Contractor | |
| Schedule 8 | Cost Adjustment Formula | N/A |
| Schedule 9 | Principles for Valuing Daywork Variation | N/A |
| Schedule 10 | Amendments to Special Conditions of Contract | |
| Schedule 11 | Amendments to Reference Specification | |
| Schedule 12 | Demolition Schedule | |
| Schedule 13 | Contract Drawings List | |

Schedule 1

Unconditional Undertaking

Refer to "Security" clause of Special Conditions of Contract.

[DRAFT ONLY - Please use Bank letterhead – please note that the Corporation will not accept certificates with an expiry date]

UNCONDITIONAL BANKERS CERTIFICATE

Bank's Reference:

BY: *[insert name of bank and ABN]* (hereinafter called "the Bank")

TO: **NEW SOUTH WALES LAND AND HOUSING CORPORATION (ABN 24 960 729 253)**
31-39 Macquarie Street, Parramatta (hereinafter called "the Principal")

SECURITY DEPOSIT BY: ***[insert name of contractor]***
(hereinafter called "the Contractor")

JOB NO: - MATTER NO:

At the request of the above named Contractor and in satisfaction of the Contractor's obligations to the Principal as provided for in the contract proposed to be entered into by the Contractor with the Principal for the **construction of** in accordance with the plan drawings to the value of (\$....) I have to inform you that the Bank unconditionally undertakes to pay on demand any sum which may from time to time be demanded by the Principal to a maximum aggregate sum of (\$....) (hereinafter called "the said Sum").

This undertaking is to continue until a notification has been received from the Principal either that such deposit is no longer required by the Principal or until payment to the Principal by the Bank of the whole sum of the said Sum.

Should the Principal desire payment to be made to it of the whole or any part or parts of the said Sum it is unconditionally agreed that such payment or payments will be made to the Principal forthwith without further reference to the Contractor and notwithstanding any notice given by the Contractor to the Bank not to pay same.

The Bank reserves the right to terminate its liability hereunder at any time upon payment to the Principal of the said Sum less any amount as may previously have been paid under this undertaking or such lesser sum as may be required and specified by the Principal.

DATED at this day of 2.....

EXECUTION by *[insert name of bank]*
by its duly constituted Attorney under Power of Attorney
Book *[insert book no]* No *[insert no]*
dated *[insert date of Registered Power of Attorney]* Name (please print).....
who has no notice of revocation of such Power of Attorney
in the present of:

Witness:
Name (please print)

Upon release, this Certificate should be returned to:
[INSERT the bank's address which is essential information for the return of the certificate upon its release – note if the contractor's account is moved to another branch then you are required to notify the Corporation otherwise when it is released it may be lost in the bank's system]

Schedule 3

Payment Claim

Refer to clause 13 of the General Conditions of Contract and "Payment Claim" clause of Special Conditions of Contract.

Payment claim shall be in the form of Tax Invoice, Combined Subcontractor's Statement and Supporting Statement by Head Contractor and supportive information:

1 Tax invoice

The Tax Invoice shall include the following information:

"Tax Invoice"

"Date of Invoice"

Contractor's name and address

Contractor's ABN number

Contractor's Account details for the purpose of payments

Recipient's Name (e.g. New South Wales Land and Housing Corporation)

Recipient's Address

Attention: Name of "Principal's Authorised Person"/"Authorised Person" appointed by the Principal

Status of the Claim: – for example Progress Claim, Final claim

Contract Title: - for example – Construction of 2 x 3 bedroom dwellings

Site address

Original Contract Sum (inc GST) \$

Variations to Date (with attached details) \$

Revised Contract Sum \$

Total Claims to Date : (show % of revised Contract Sum) \$

Less Previous Claims to Date \$

Total Amount Claimed this Progress Claim \$

(Inclusive of GST; with attached details)

Amount of GST included within this progress Claim \$

The amount claimed shall state where it is GST inclusive or not.

Name of the "Contractor's Authorised Person"/ Contractor's representative

Signature of "Contractor's Authorised Person"/ Contractor's representative

2 Combined Subcontractor's Statement and Supporting Statement by Head Contractor

(Refer to Schedule 7)

3 Supportive information

Schedule 7

Combined Subcontractor's Statement and Supporting Statement by Head Contractor

Refer to clause 13.1 of the MW21 General Conditions of Contract

This Statement must accompany any payment claim served on a principal to a construction contract by a head contractor.

For the purposes of this Statement the terms "principal", "head contractor", "subcontractor", and "construction contract" have the meanings given in section 4 of the Building and Construction Industry Security of Payment Act 1999.

The Contractor is both a "head contractor" in terms of the Building and Construction Industry Security of Payment Act 1999, and a "subcontractor" in terms of the Workers Compensation Act 1987, Payroll Tax Act 2007, and Industrial Relations Act 1996, and makes relevant statements below accordingly.

This Statement must be signed by the Contractor (or by a person who is authorised, or held out as being authorised, to sign the statement by the Contractor).

Relevant legislation includes *Workers Compensation Act 1987, s175B, Payroll Tax Act 2007, Schedule 2 Part 5, Industrial Relations Act 1996 s127, and Building and Construction Industry Security of Payment Regulation 2008 cl 4A*

Information, including Notes, Period of Statement, Retention, and Offences under various Acts are included at the end of this Schedule.

| 1 CONTRACT DETAILS | | | |
|-------------------------------------|--|-------------|----------------|
| Principal: | New South Wales Land and Housing Corporation | ABN: | 24 960 729 253 |
| | | | Note 2 |
| Contractor: | | ABN: | |
| Contractor's Address: | | | |
| Contract Number/ Identifier: | | | Note 3 |
| Contract Title: | | | |
| Address: | | | |
| Job Number: | | | |

| 2 PAYMENT DETAILS | | | |
|---|-----|--|---------------|
| Progress payment is hereby requested for work carried out to the above contract. The claim is: | | Payment Claim No: | |
| (A) As Attached | OR | (B) As Determined by the Authorised Person/ Superintendent | |
| <i>(Delete (A) or (B) as appropriate)</i> | | Date: | |
| Period: | | | Note 4 |
| This Statement applies for work between: | | | Note 5 |
| | and | | inclusive, |
| subject of this payment claim | | | |

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|---|---------------|
| 3 ENGAGEMENT OF SUBCONTRACTORS | |
| <input type="checkbox"/> The abovementioned Contractor has employed or engaged workers or subcontractors during the above period of this contract. | Note 6 |
| <input type="checkbox"/> The abovementioned Contractor has not employed or engaged workers or subcontractors during the above period of this contract or is an exempt employer for workers compensation purposes. | Note 6 |

| | |
|--|----------------|
| 4 STATEMENT | |
| <p>I, _____, a director or a person authorised by the Contractor on whose behalf this declaration is made, hereby declare that I am in a position to know the truth of the matters that are contained in this statement and declare that, to the best of my knowledge and belief:</p> | |
| (a) All amounts due and payable to subcontractors have been paid (not including any amount identified in the attachment as in dispute) | |
| (b) All workers compensation insurance premiums payable by the Subcontractor in respect of the work done under the contract have been paid. The Certificate of Currency for that insurance is attached and is dated _____ | Note 7 |
| (c) All remuneration payable to relevant employees for work under the contract for the above period has been paid. | Note 8 |
| (d) Where the Contractor is required to be registered as an employer under the Payroll Tax Act 2007, the Contractor has paid all payroll tax due in respect of employees who performed work under the contract, as required at the date of this statement. | Note 9 |
| (e) Where the Contractor is also a principal contractor to subcontracts in connection with the work, the Contractor has in its capacity of principal contractor been given a written Subcontractor's Statement by its subcontractor(s) in connection with that work for the period stated above. | Note 10 |
| (f) Signature _____ Full name _____ | |
| (g) Position/Title _____ Date _____ | |
| <p><i>NOTE: Where required above, this Statement must be accompanied by the relevant Certificate of Currency to comply with section 175B of the Workers Compensation Act 1987.</i></p> | |

Notes

1. This form is prepared for the purpose of section 175B of the Workers Compensation Act 1987, Schedule 2 Part 5 Payroll Tax Act 2007, section 127 of the Industrial Relation Act 1996 and sections 13(7) and 13(9) of the Building and Construction Industry Security of Payment Act 1999. If this form is completed in accordance with these provisions, a principal contractor is relieved of liability for workers compensation premiums, payroll tax and remuneration payable by the subcontractor.

A principal contractor can be generally defined to include any person who has entered into a contract for the carrying out of work by another person (or other legal entity called the subcontractor) and where employees of the subcontractor are engaged in carrying out the work which is in connection with the principal contractor's business.

2. For the purpose of this Subcontractor's Statement, a principal contractor is a person (or other legal entity), who has entered into a contract with another person (or other legal entity) referred to as the subcontractor, and employees/workers of that subcontractor will perform the work under contract. The work must be connected to the business undertaking of the principal contractor.
3. Provide the unique contract number, title, or other information that identifies the contract.
4. In order to meet the requirements of s127 Industrial Relations Act 1996, a statement in relation to remuneration must state the period to which the statement relates. For sequential Statements ensure that the dates provide continuous coverage.

Section 127(6) of the Industrial Relations Act 1996 defines remuneration 'as remuneration or other amounts payable to relevant employees by legislation, or under an industrial instrument, in connection with work done by the employees.'

Section 127(11) of the Industrial Relations Act 1996 states 'to avoid doubt, this section extends to a principal contractor who is the owner or occupier of a building for the carrying out of work in connection with the building so long as the building is owned or occupied by the principal contractor in connection with a business undertaking of the principal contractor.'

5. Provide the date of the most recent payment claim.
6. For Workers Compensation purposes an exempt employer is an employer who pays less than \$7500 annually, who does not employ an apprentice or trainee and is not a member of a group.
7. In completing the Subcontractor's Statement, a subcontractor declares that workers compensation insurance premiums payable up to and including the date(s) on the Statement have been paid, and all premiums owing during the term of the contract will be paid.
8. In completing the Subcontractor's Statement, a subcontractor declares that all remuneration payable to relevant employees for work under the contract has been paid.
9. In completing the Subcontractor's Statement, a subcontractor declares that all payroll tax payable relating to the work undertaken has been paid.
10. It is important to note that a business could be both a subcontractor and a principal contractor, if a business 'in turn' engages subcontractors to carry out the work. If your business engages a subcontractor you are to also obtain Subcontractor's Statements from your subcontractors.

Statement Retention

The principal contractor receiving a Subcontractor's Statement must keep a copy of the Statement for the periods stated in the respective legislation. This is currently up to seven years.

Offences in respect of a false Statement

In terms of s127(8) of the Industrial Relations Act 1996, a person who gives the principal contractor a written statement knowing it to be false is guilty of an offence if:

- (a) the person is the subcontractor;
- (b) the person is authorised by the subcontractor to give the statement on behalf of the subcontractor; or
- (c) the person holds out or represents that the person is authorised by the subcontractor to give the statement on behalf of the subcontractor.

In terms of s175B of the Workers Compensation Act 1987 and clause 18 of Schedule 2 of the Payroll Tax Act 2007 a person who gives the principal contractor a written statement knowing it to be false is guilty of an offence.

In terms of s 13(8) of the Building and Construction Security of Payment Act 1999 a head contractor who serves a payment claim accompanied by a supporting statement knowing that the statement is false or misleading in a material particular in the particular circumstances is guilty of an offence.

Further Information

For more information, visit the WorkCover website www.workcover.nsw.gov.au, Office of State Revenue website www.osr.nsw.gov.au, or NSW Industrial Relations, <http://www.industrialrelations.nsw.gov.au>. Copies of relevant legislation can be found at www.legislation.nsw.gov.au.

(INCLUDE ATTACHMENT)

5 ATTACHMENT

SCHEDULES OF SUBCONTRACTORS PAID OR PAYMENT IN DISPUTE

| Schedule of subcontractors paid all amounts due and payable | | | | |
|--|------------|--|-----------------------------------|--|
| Subcontractor | ABN | Contract number/ identifier | Date of works (period) | Payment claim dated (head contractor claim) |
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| Schedule of subcontractors for which an amount is in dispute and has not been paid | | | | |
|---|------------|--|-----------------------------------|--|
| Subcontractor | ABN | Contract number/ identifier | Date of works (period) | Payment claim dated (head contractor claim) |
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Schedule 10

Amendments to Special Conditions of Contract

Refer to clause 2.1 of Special Conditions of Contract

The following clauses include amendments and/or additions to Special Conditions of Contract:

1. DEVELOPMENT CONSENT CONDITIONS NOT FORMING PART OF THE CONTRACT N/A
2. DEVELOPMENT APPLICATION BY CONTRACTOR N/A
3. CERTIFICATION OF COMPLIANCE WITH BUILDING AND FIRE REGULATIONS N/A
4. BCA CONSULTANCY SERVICES - PREFERRED SUB-CONTRACTOR N/A
5. CONTRACTOR'S TENDER CONCEPT/ DESIGN N/A
6. INCLUSIONS IN CONTRACTOR'S DOCUMENTS N/A
7. PROVISION OF SUBDIVISION/ CONSOLIDATION PLAN N/A
8. ABORIGINAL EMPLOYMENT AND TRAINING N/A
9. LAND OWNERSHIP
Refer to Special Conditions of Contract clause Home Warranty Insurance
The land IS/ ~~IS NOT~~* in ownership of New South Wales Land and Housing

Corporation or ~~Aboriginal Housing Office.~~

10. PROVISIONAL SUM AND PROVISIONAL QUANTITIES **N/A**

11. SECURITY – FOR SCHEDULE OF RATES CONTRACTS OR FOR CONTRACTS INVOLVING BOTH SCHEDULE OF RATES AND LUMP SUM

Refer to Special Conditions of Contract clause Security

The Contractor shall, unless the Principal otherwise agrees, provide by way of security an unconditional undertaking as follows:

Completion Undertaking: an amount of: \$__TBA_____

Post-Completion Undertaking: an amount of \$__TBA_____

12. RELEASE OF COMPLETION UNDERTAKING **N/A**

13. TERMINOLOGY

Reference to “Contractor’s Authorised Person” (CAP) is a reference to “Contractor” or “Contractor’s Representative”

Reference to “Principal’s Authorised Person” is a reference to “Authorised Person”.

14. SCHEDULES **N/A**

Schedule 11

Amendments to Reference Specification

N/A

Refer to clause 2.2 of Special Conditions of Contract

Schedule 12

Demolition Schedule N/A

Refer to clause 2.3 of Special Conditions of Contract

Schedule 13

Contract Drawings List N/A

Refer to clause 2.4 of Special Conditions of Contract

Reference: MC/16/99984
Enquiries: Heritage Advisor

NSW Land and Housing Corporation
Locked Bag 4009
Ashfield BC NSW 1800

Dear Sir/Madam ,

Re: *Proposed repair and repainting works*
Site Address: 61-63 Pittwater Road, Manly

Reference is made to the correspondence received by Council on Monday 25 July 2016, forwarded by ZMP Architects & Heritage Consultants Pty Ltd on your behalf. The information includes a: *Proposed Schedule of Works, Assessment of Heritage Impact and Proposed Colour Scheme*.

It is understood that the NSW Land and Housing Corporation are seeking an exemption from the development application process and it is generally considered that the works identified within the proposed schedule of works are essential maintenance works. Colour Scheme A, contained within the *proposed colour scheme document*, is also considered to be minor in nature and unlikely to impact on the heritage values of the place.

Therefore, on the proviso that Colour Scheme A is used, the work could be carried out in accordance with Clause 5.10 (3)(a)(i) & (ii) of the Manly Local Environmental Plan 2013.

Please note that this exemption is restricted to the scope of works identified within the proposed schedule of works and subject to the compliance with the following condition:

1. The proposed works are to be carried out in a manner which minimises any demolition, alteration, new penetrations/fixing or irreversible damage to the significant fabric of the existing building which is listed as heritage items in Schedule 5 – Environmental Heritage of the Manly Local Environmental Plan 2013. Particular care must be taken to minimise damage to the significant fabric of the building during the carrying out of the internal fit-out and any electrical or plumbing works.

Reason: To ensure the heritage significance of the site is not adversely affected and best practice for heritage conservation is undertaken.

Should you wish to carry out any additional work you will be required to contact Council on 9976 1500 or email records@manly.nsw.gov.au to ascertain whether the work is eligible for any further exemption.

Yours faithfully,



Louise Doherty
Heritage Advisor
Landuse and Sustainability

Date: 27/07/2016

ZMP Architects & Heritage Consultants Pty Ltd

PO Box 3069 PARRAMATTA NSW 2124 * zoran_popovich@yahoo.com.au
ABN: 93 137 432 430 * REGISTERED ARCHITECT IN NSW: MARIJA POPOVIC, ARB REG. No. 8222



People's Palace in 2016

LAHC NSW

People's Palace

61-63 Pittwater Road, Manly

Proposed Maintenance Works, Assessment of Heritage Impact

July 2016

Issue A – Final –18/07/2016

Manly 61-63 Pittwater Road Assessment of Impact July 2016.doc

18/07/2016

People's Palace

61-63 Pittwater Road, Manly

Proposed Maintenance Works, Assessment of Heritage Impact

This report presents an Assessment of heritage impact of proposed and recommended works to the property of 61-63 Pittwater Road, Manly. The report is prepared on behalf of LAHC NSW, the owner of the property.

This report is prepared for lodgement with Northern Beaches Council (Council) as part of the application for exemption of Minor Works from DA approval, as per the Clause 5.10.3 of the applicable Local Environmental Plan, the Manly LEP.

The report should be read in conjunction with the other reports prepared as part of the same proposal, including:

- Scope of Works,
- Colour Scheme, and
- QS Report.

The proposal affects the site of 61-63 Pittwater Road, listed as an individual heritage item in the Schedule 4 of the Manly Council's Local Environmental Plan (LEP). The item, known as "People's Palace", is a local item of considerable architectural and social value. The site affected by works comprises also the non-significant modern buildings sited within the same property. The site is also located within Pittwater Road heritage conservation area, and it is in the vicinity of several individually listed items.

The report was prepared by Zoran Popovic, heritage consultant. Information on the proposal, including technical plans and reports, was provided by Vivian Wei of LAHC, Project Manager of the project. Information on history and significance of the site was provided partly by Vivian Wei, and partly by John MacRitchie of Manly Library (Local Studies Section) and by Sophie Butler and Louise Doherty, Council's heritage advisors. Contemporary photographs were taken by Zoran Popovic, specifically for the purposes of this report.

1. History and Significance of the Place

People's Palace is described in the State Heritage Inventory (SHI) datasheet as: *A large-scale 4-storey, tuck pointed red brick and painted brick hostel with timber cantilevered verandah to first floor. Ornate pilastered Free Classical façade. Verandah has decorative scrolled metal awning brackets and organic styled timber brackets and lattice valence above. Double hung windows to upper level and casement sashes with coloured glazing to ground floor level with coloured glazing in top. Glazed ceramic tiles to street level entrance with art nouveau motif. Double leaf panelled front door. The front of the building, on the ground floor, was the original location of the communal dining room; while the area behind the first floor balcony housed the communal lounge room. "The garden roof is an outstanding feature of this modern Hostel" (The War Cry, 8.11.1913).*

The history section (based on personal comments of Robyn Edge, Salvation Army Archivist) includes remarks that the subject land was part of the 1842 Grant to J Thompson and that the building was one of a number of "people's palaces", constructed by the Salvation Army. The Manly People's Palace, opened in September 1913, was one of the first three People's Palaces erected by the Salvation Army in Australia. It aimed at providing clean, safe accommodation for country people on holidays. ("The War Cry" 22 March 1913, 4 March 1913, 8 November 1913). This was amended to include information that rear section of the building and adjoining cottage to north were demolished and replaced by infill development c.1994, when the People's Palace was adjusted to use as public housing.

The current Statement of significance is concise, and reads: "This item is of local and state cultural heritage significance as it demonstrates the pattern of development of Manly and, in particular, that associated with Pittwater Road. Constructed on a transport corridor close to the Steyne, it is an important example of a hostel built by the Salvation Army for holiday-makers from the country, one of the first three built in Australia. It is a fine and unique example of a large scale hostel displaying elements of the free classical style of architecture."

More details on history of the place are provided in the Statement of Heritage Impact report and in the appendices to that report.

In the SHI datasheet, the People's Palace was found to meet the NSW Heritage Council's criteria for heritage listing: A (historical), C (aesthetic), and F (rarity).

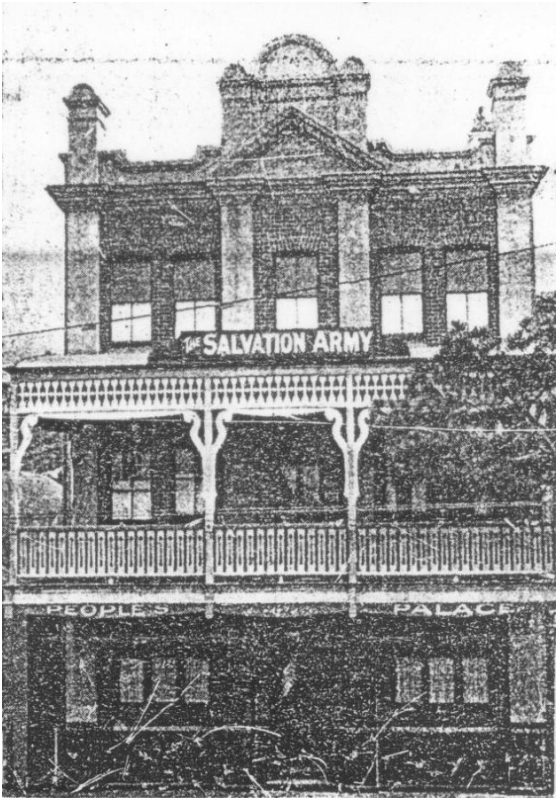

The identified associations with Australian and NSW heritage themes include:

| Australian Theme (abbrev.) | New South Wales Theme |
|--|--|
| 4. Settlement – Building settlements, towns and cities | Towns, suburbs and villages - Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages |
| 7. Governing-Governing | Welfare-Activities and process associated with the provision of social services by the state or philanthropic organisations |

The history of the People's Palace was researched in detail by Manly Library – Local Studies Section, and the results of their research was included in the appendix A to this report.

2. Assessment of Significance

As the available SHI datasheet does not reflect all the aspects identified in historical research, it was deemed necessary to assess the item against all the seven NSW HC Criteria. The results are presented in the following pages.

| People's Palace, Manly | |
|---|---|
| Assessment of significance against NSW Heritage Council criteria | |
| (A) An item is important in the course, or pattern, of NSW's cultural or natural history (State significance); OR An item is important in the course, or pattern, of the local area's cultural or natural history (local significance). | |
| <p>Inclusion:</p> <ul style="list-style-type: none"> • shows evidence of a significant human activity • is associated with a significant activity or historical phase • maintains or shows the continuity of a historical process or activity | <p>People's Palace is associated with the earlier stages of welfare and charitable organisations' development in Manly area, being built for the Salvation Army c. 1913 and provides evidence of importance of this human activity, as visible in its scale and quality of its architecture. The People's Palace provides evidence of significant attempts of Salvation Army to establish itself as a charity organisation in the area. People's Palace meets this Criterion on local area level.</p> |
| <p>Exclusion:</p> <ul style="list-style-type: none"> • has incidental or unsubstantiated connections with historically important activities or processes • provides evidence of activities or processes that are of dubious historical importance • has been so altered that it can no longer provide evidence of a particular association | |
|  |  |
| <p>(L) People's Palace in 1917, sourced from Manly Library – Local Studies (War Cry, 04/08/1917) (R) People's Palace in 2016</p> | |

| People's Palace, Manly | |
|--|--|
| Assessment of significance against NSW Heritage Council criteria | |
| (B) An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (State significance); OR An item has strong or special association with the life or works of a person, or group of persons, of importance in the cultural or natural history of the local area (local significance) | |
| Inclusion: <ul style="list-style-type: none"> • shows evidence of a significant human occupation • is associated with a significant event, person, or group of persons | People's Palace is associated with important and internationally renowned spiritual and charitable organisation, the Salvation Army. People's Palace meets this Criterion on local area level. |
| Exclusion: <ul style="list-style-type: none"> • has incidental or unsubstantiated connections with historically important people or events • provides evidence of people or events that are of dubious historical importance • has been so altered that it can no longer provide evidence of a particular association | |
| (C) An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (State significance); OR An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area (local significance) | |
| Inclusion: <ul style="list-style-type: none"> • shows or is associated with, creative or technical innovation or achievement • is the inspiration for a creative or technical innovation or achievement • is aesthetically distinctive • has landmark qualities • exemplifies a particular taste, style or technology | People's Palace is a major landmark in the Pittwater Road area. The building has inherent aesthetic significance, emphasized by its four storey scale towering above the streetscape. It is highly regarded by the broader local community as one of the key elements of the streetscape. People's Palace meets this Criterion on local area level. |
| Exclusion: <ul style="list-style-type: none"> • is not a major work by an important designer or artist • has lost its design or technical integrity • its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded • has only a loose association with a creative or technical achievement | |

| People's Palace, Manly | |
|---|--|
| Assessment of significance against NSW Heritage Council criteria | |
| (D) An item has strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons (State significance); OR An item has strong or special association with a particular community or cultural group in the area for social, cultural or spiritual reasons (local significance). | |
| Inclusion: <ul style="list-style-type: none"> • is important for its associations with an identifiable group • is important to a community's sense of place | People's Palace is associated with Salvation Army, an identifiable spiritual organisation. The building, but also Salvation Army's presence, is of significance for Manly residents and strongly contributes to the general community's sense of place. People's Palace meets this Criterion on local area level. |
| Exclusion: <ul style="list-style-type: none"> • is only important to the community for amenity reasons • is retained only in preference to a proposed alternative | |
| (E) An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (State significance); OR An item has potential to yield information that will contribute to an understanding of the area's cultural or natural history (local significance). | |
| Inclusion: <ul style="list-style-type: none"> • has the potential to yield new or further substantial scientific and/or archaeological information • is an important benchmark or reference site or type • provides evidence of past human cultures that is unavailable elsewhere | People's Palace in Manly is an early People's Palace built by the Salvation Army in Australia. Albeit altered and with a top floor added, it exemplifies typical design of this type of building in Federation period and presents a reference for similar heritage places. People's Palace meets this Criterion on local area level. |
| Exclusion: <ul style="list-style-type: none"> • the knowledge gained would be irrelevant to research on science, human history or culture • has little archaeological or research potential • only contains information that is readily available from other resources or archaeological sites | |
| (F) An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (State significance); OR An item possesses uncommon, rare or endangered aspects of the area's cultural or natural history (local significance). | |
| Inclusion: <ul style="list-style-type: none"> • provides evidence of a defunct custom, way of life or process • demonstrates a process, custom or other human activity that is in danger of being lost • shows unusually accurate evidence of a significant human activity • is the only example of its type • demonstrates designs or techniques of exceptional interest • shows rare evidence of a significant human activity important to a community | People's Palace in Manly is one of the first three People's Palaces built by the Salvation Army in Australia. This makes it rare in State context and the only example in Northern Beaches of its type and date of construction. People's Palace meets this Criterion on local area level. |

| People's Palace, Manly | |
|---|---|
| Assessment of significance against NSW Heritage Council criteria | |
| Exclusion: <ul style="list-style-type: none"> • is not rare • is numerous but under threat | |
| (G) An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments (State significance); OR An item is important in demonstrating the principal characteristics of a class of the area's cultural or natural places; or cultural or natural environments (local significance). | |
| Inclusion: <ul style="list-style-type: none"> • is a fine example of its type • has the principal characteristics of an important class or group of items • has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity • is a significant variation to a class of items • is part of a group which collectively illustrates a representative type • is outstanding because of its setting, condition or size • is outstanding because of its integrity or the esteem in which it is held | People's Palace in Manly is a fine example of People's Palace built by the Salvation Army in Australia in the Federation period. People's Palace meets this Criterion on local area level. |
| Exclusion: <ul style="list-style-type: none"> • is a poor example of its type • does not include or has lost the range of characteristics of a type • does not represent well the characteristics that make up a significant variation of a type | |
| Summary Conclusion: People's Palace in Manly meets criteria for heritage listing as an item of heritage significance. Based on the research presented above, it is recommended to amend the Statement of Significance for the People's Palace in Manly in the Council's heritage database. | |
| Statement of Significance People's Palace in Manly is of significance for the local area for historical, associative, aesthetic, social reasons, for its potential to contribute further to an understanding of this important type of building, and for reasons of rarity and representativeness. People's Palace is associated with the earlier stages of welfare and charitable organisations' development in Manly area, being built for the Salvation Army c. 1913, and provides evidence of significant attempts of Salvation Army to establish itself in the area. The building has inherent aesthetic significance, emphasized by its four storey scale towering above the streetscape. It is highly regarded by the broader local community as one of the key elements of the streetscape in the adjacent part of Pittwater Road. People's Palace, its ongoing use and association with Salvation Army strongly contribute to the community's sense of place. People's Palace in Manly is one of the first three People's Palaces built by the Salvation Army in Australia. This makes it the only example in Northern Beaches of its type and date of construction, rare in State context. Albeit altered and with a top floor added, it exemplifies typical design of this type of building in Federation period and presents a fine example and reference for similar heritage places. | |

3. Proposed Schedule of Works

Proposed Works are detailed in a separate Schedule of Works report, with illustrations and justifications.

The works will have to be conducted in accordance with the Reference Specification for Housing Construction (prepared by LAHC Contracts & Quality in February 2013) and all associated Australian Standard provisions applicable.

The schedule of works is based on needs identified during site inspection on 17 June 2016. The inspection did not include or assess any structural elements nor any compliance with the National Construction Code.

In essence, the proposed works include the following maintenance activities:

| |
|---|
| People's Palace, 61-63 Pittwater Road, Manly |
| Proposed Maintenance Works |
| PEOPLE'S PALACE BUILDING |
| All Elevations Generally |
| <p>Re-paint all external surfaces which are meant to be painted in colours as per the approved colour scheme.</p> <p>Repair or replace all damaged or missing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of detail and methodology.</p> <p>Refer to Proposed Colour Scheme report for details.</p> |
| Main Elevation Balcony |
| <p>Check all balcony elements, including structural, railings, lining, roofs, decorative and guttering/downpipes. Repair or replace each damaged or missing element to match the original as required. Contractor's engineer to confirm acceptability of methodology and detail.</p> <p>Replace missing or damaged railing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.</p> <p>Carefully remove metal brackets and clean, remove old paint, remove rust, prime, repaint with two coats of paint, and re-install. Contractor's engineer to confirm acceptability of methodology and detail. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Repaint all elements in approved colours. Refer to Proposed Colour Scheme report for details.</p> <p>Repair guttering, frame, internal lining, timberwork and all other elements as required. Inspect roofing, repair or replace as required.</p> <p>Clean, prime, and repaint all elements in approved colour scheme.</p> |
| Side Elevation Verandah |
| <p>Check all balcony elements, including structural, railings, lining, roofs, decorative and guttering/downpipes. Repair or replace each damaged or missing element to match the original as required. Contractor's engineer to confirm acceptability of methodology and detail.</p> <p>Replace missing or damaged railing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail. Repair guttering, frame, internal lining, timberwork and all other elements as required. Inspect roofing, repair or replace as required.</p> |

| |
|--|
| People's Palace, 61-63 Pittwater Road, Manly |
| Proposed Maintenance Works |
| Secondary (Top Floor) Balconies |
| <p>Check all balconies, including structure, railings, roofs, and repair or replace all elements as required. Carefully remove metal brackets and frame supporting the roof, clean, remove old paint, remove rust, prime, repaint with two coats of paint, and re-install. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail. Inspect roofing, repair or replace as required.</p> |
| All Elevations – Windows Generally |
| <p>Protect glass areas during works. Check window operability, repair as required to match the existing detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme.</p> |
| All Elevations – Doors Generally |
| <p>Check door operability, repair as required to match the existing detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme.</p> |
| Main Elevation – Tiled Areas |
| <p>Protect tiled areas during works. Inspect, repair individual tiles to match original as required.</p> |
| NEW BUILDINGS ON SITE (Note: works not to affect No. 63, save for the clothes line area) |
| All Areas Generally |
| <p>Repaint and conduct any minor repairs required to all components in balconies, picket fences ground floor and 3 entrance canopies only and only for the building located behind/attached to heritage front building. Repair or replace all damaged or missing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of detail and methodology.</p> |
| All Elevations Generally |
| <p>Check all balconies, including structure, railings, roofs, and repair or replace all missing or damaged elements as required.</p> <p>Carefully clean, remove old paint, remove rust, prime, repaint with two coats of paint. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.</p> <p>Inspect roofing, repair or replace as required.</p> <p>Repaint all elements in existing colours.</p> |
| Entrance Canopies to Units – No. 61 |
| <p>Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme. Repair brickwork, replace individual missing bricks with matching bricks as required.</p> |
| Low Front Fencing to Units – No. 61 |
| <p>Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber elements of paint, prime, repaint in colours as per the approved colour scheme.</p> |

| |
|--|
| People's Palace, 61-63 Pittwater Road, Manly |
| Proposed Maintenance Works |
| Internal Property Fencing to Rear of Units – No. 63 |
| Internal Property Fencing to Rear of Units – No. 63 – Replace to match the current detail. |
| SHARED ELEMENTS – PROPERTY FENCES AND OTHER |
| Pittwater Road Entry Portico |
| Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme. |
| Pittwater Road Property Fence |
| Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber elements of paint, prime, repaint in colours as per the approved colour scheme. |
| Rear Lane Property Fence |
| Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal gates elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber gates elements of paint, prime, repaint in colours as per the approved colour scheme. Repair brickwork, replace individual missing bricks with matching bricks as required. |

4. Assessment of Heritage Impact

The procedure of assessment of heritage impact is described in the *Statements of Heritage Impact*, a guideline prepared by the NSW Heritage Office (now NSW Office of Environment and Heritage, Heritage Branch) to assist architects and applicants in the DA process. In brief, the procedure consists of a series of questions to be answered for particular types of changes to heritage places. It was considered that the following criteria for assessment of heritage impact apply:

| People's Palace, Manly | | |
|---|---|--|
| Assessment of heritage impact against NSW Heritage Council criteria | | |
| Proposed Change | Some Questions to be Answered | Answers |
| Demolition of a building or structure | N/A | |
| Minor partial demolition (including internal elements) | <ul style="list-style-type: none"> • Is the demolition essential for the heritage item to function? • Are important features of the item affected by the demolition (e.g. fireplaces in buildings)? • Is the resolution to partially demolish sympathetic to the heritage significance of the item? • If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired? | <p>The proposed demolition includes only minor and insignificant element which are deteriorated and are beyond repair. The individual rotten timber battens, broken bricks and the like will be replaced with new matching elements. These activities will have no adverse impact on the heritage item.</p> |
| Major partial demolition (including internal elements) | N/A | |
| Change of use | N/A | |
| Minor additions | N/A | |
| Major additions | N/A | |
| New development adjacent to a heritage item | N/A | |
| Subdivision | N/A | |
| Repainting using new colour schemes | <ul style="list-style-type: none"> • Have previous (including original) colour schemes been investigated? Are previous schemes being reinstated? • Will the repainting effect the conservation of the fabric of the heritage item? | <p>The original colour scheme was based on face brick in natural dark tone. Sadly, this is irreversibly lost as the building was partly rendered and completely repainted at an unknown point, apparently before the 1980s. The current scheme is an interpretation of a typical possible scheme, based on "Colour Schemes for Old Australian Houses" by Ian Evans, Clive Lucas and Ian Stapleton. The proposed colour scheme is based on the existing, sympathetic scheme, with minor changes to simplify the scheme, which is deemed more typical of the period and style than the current scheme.</p> |

| People's Palace, Manly | | |
|--|--|---|
| Assessment of heritage impact against NSW Heritage Council criteria | | |
| Proposed Change | Some Questions to be Answered | Answers |
| Re-roofing/re-cladding | N/A | |
| New services (e.g. air conditioning, plumbing) | N/A | |
| Fire upgrading Note: you may seek the advice of the Fire, Access & Services Panel | N/A | |
| New landscape works and features (including carparks and fences) | <ul style="list-style-type: none"> • How has the impact of the new work on the heritage significance of the existing landscape been minimised? • Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated? • Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented? • Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered? • How does the work impact on views to, and from, adjacent heritage items? | Proposed changes to the fencing include only fabric maintenance, repairs like-for-like to non-original front fences, and replacement of a non-original fence at the rear of No.63 (new building). The changes are deemed minor and assessed as having no adverse impact on the item or its cultural significance. |
| Tree removal or replacement | N/A | |
| New signage | N/A | |

5. Conclusions and Recommendations

In conclusion, in my opinion the proposed works to People's Palace in Pittwater Road, Manly, and to associated modern buildings within the site are typical maintenance works will have a generally nil level of impact on heritage values of this significant heritage item.

I trust that the consent authority will find this report satisfactory; should the officers wish to discuss this report or any other related issues in further detail, please do not hesitate to call me on 0408 637 213.

Zoran Popovic
Heritage Consultant

- Appendix A: People's Palace, Pittwater Road (Manly Library File)

People's Palace, Pittwater Road



Reference Number: MM 001005 Collection: THE BIGGEST FAMILY ALBUM IN AUSTRALIA Museums Victoria

Title: LOOKING DOWN ON MANLY AND THE PACIFIC OCEAN FROM KANGAROO HILL.

Location: AUSTRALIA; NEW SOUTH WALES; SYDNEY; MANLY;

Date: 1915

Creator: CHISHOLM, MRS. C.M.

Format: NEGATIVES – COPY

This image shows an early view (1915) of the People's Palace building in Pittwater Road. The People's Palace was built for the Salvation Army.

The People's Palace was apparently built in 1912 and opened in early 1913. A "Salvation Army Barracks" at Manly was officially opened on 14 September 1912 by Commissioner James Hay, Commander of the Salvation Army in Australia. This was the building to the right of the People's Palace in the photo above, with the round window in the gable, evidently erected before the People's Palace.¹ On the same day, Commissioner Hay opened a barracks at Dee Why. This was only a few days after the death of General William Booth, founder of the Salvation Army.

The street address of the Barracks was initially 51 Belgrave Street, with the People's Palace at 53 Belgrave Street.

Tile-layers were wanted at the People's Palace in February 1913.²

The *War Cry* reported on 22 March 1913 that a newly-erected People's Palace was operating at Manly, which suggests that it opened early in 1913. On 8 November 1913 it reported that after a short term at the recently-opened People's Palace at Manly, Staff-Captain McClure was moving to Adelaide, his place to be taken by Adjutant Harper. It stated: "The garden roof is an outstanding feature of this

¹ SMH 20 August 1912, 16 September 1912.

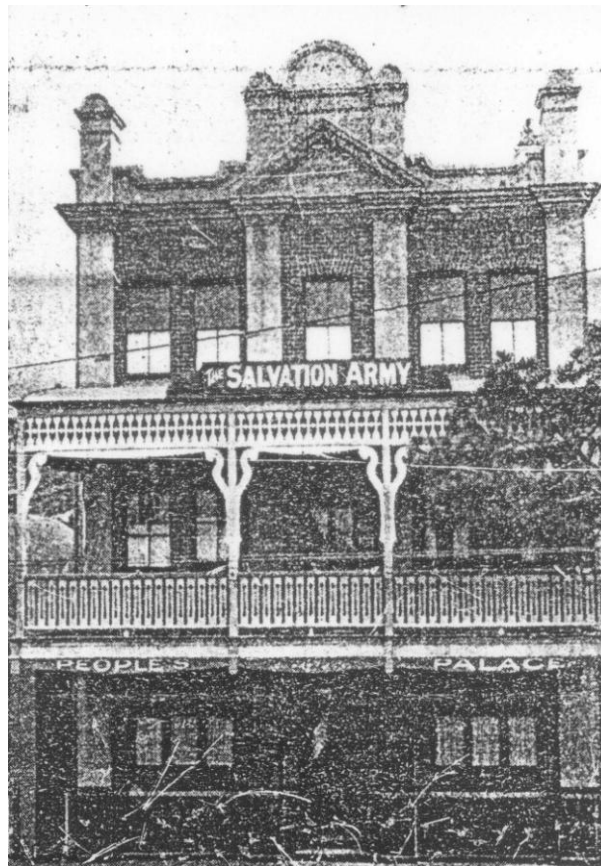
² SMH 4 February 1913.

modern hotel, and here tea-parties and reunions can be arranged by the visitors, while reclining on cushioned wicker lounges or restful deckchairs.

The objective of People's Palaces was to provide a place where the travelling public might get clean beds and wholesome food without any liquor bars attached to the hotel, and be under the protection of the Salvation Army.

The building was acquired from the Salvation Army in the 1990s by the Housing Department, who retained only the façade of the building, despite protests from conservationists. The building was turned into a 27-unit development, including 12 one-bedroom units for pensioners and 9 providing community housing. It was officially opened by Planning and Housing minister Robert Webster on 19 July 1994.³

See also 1985 Heritage Study.



People's Palace, photo from War Cry, 4 August 1917

³ *Manly Daily* 20 July 1994.

Manly Library Local Studies



Scan 05.2013 People's Palace from air, 1958



Scan 11.2007. People's Palace, c1980s



Scan 06.2009 People's Palace, 2009.

The building was described as follows in 2001: "A large scale four-storey painted brick hostel with timber cantilevered verandah to front façade. Ornate pilastered Free Classical façade. Verandah has decorative scrolled metal awning brackets and organic styled timber brackets and lattice valence above. Enclosed verandahs to the north now open. Double-hung windows to upper level and casement sashes with coloured glazing to ground floor level with coloured glazing in top. Glazed ceramic tiles to street level entrance with Art Nouveau motif. Double leaf panelled front door. Rear section of building and adjoining cottage to north replaced by recent infill development."⁴

TRIM MC/13/59412

⁴ *Pittwater Road Conservation Area, August 2001.*

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People's Palace in 2016

LAHC NSW

People's Palace

61-63 Pittwater Road, Manly

Proposed Colour Scheme

July 2016

Issue A – Final Draft –07/07/2016

Issue B – Final –18/07/2016

Issue C – Final as approved by Council – 08/08/2016

Manly 61-63 Pittwater Road Colour Scheme July 2016.doc

07/08/2016

People's Palace

61-63 Pittwater Road, Manly

Proposed Colour Scheme

This report presents a proposed colour scheme for the historical property of 61-63 Pittwater Road, Manly. The report is prepared on behalf of LAHC NSW, the owner of the property. This report is prepared for lodgement of Minor Works application for approval with Northern Beaches Council (the Council). This issue of the report is prepared further to approval, to include a photomontage of the approved scheme (refer to Figure 8).

The report should be read in conjunction with the other reports prepared as part of the same proposal, including:

- Assessment of heritage impact,
- Proposed Schedule of Works, and
- QS Report.

The proposal affects the site of 61-63 Pittwater Road, listed as an individual heritage item in the Schedule 4 of the Manly Council's Local Environmental Plan (LEP). The item, known as "People's Palace", is a local item of considerable architectural and social value. The site affected by works comprises also the non-significant modern buildings sited within the same property. The site is also located within Pittwater Road heritage conservation area, and it is in the vicinity of several individually listed items.

The report was prepared by Zoran Popovic, heritage consultant. Information on the proposal, including technical plans and reports, was provided by Vivian Wei of LAHC, Project Manager of the project. Information on history and significance of the site was provided partly by Vivian Wei, and partly by John MacRitchie of Manly Library (Local Studies Section) and by Sophie Butler and Louise Doherty, Council's heritage advisors. Contemporary photographs were taken by Zoran Popovic, specifically for the purposes of this report. Proposed Colour Schemes were developed by Zoran Popovic. Utilised sources include "Colour Schemes for Old Australian Houses" by Ian Stapleton and Ian Evans, volumes I and II.

Note that BS and AS colour names are not consistent, and do not match paint names as available in the market. Colours as shown on screen differ from real-life colours. In case of any inconstancy, AS colour identification code as per the table in p. 12 will prevail.

1. Original Colours of People's Palace

In case of People's Palace, the original facade had substantial portions materialised in face brick, as was common in the period of its creation (Federation). Sadly, these face brick areas were permanently defaced by paint. It is possible to attempt paint removal, by applying pre-mixed chemical solutions which dilute painted layers, before being stripped off. This however has given mixed results in the past, as it is not known how will the face of the historical brick react with the chemical mix, and what condition it is in. This risk is not always worth taking, and the costs are substantial. The original view of People's Palace is depicted in Figure 1.

This instigated research on potentially acceptable colour schemes.

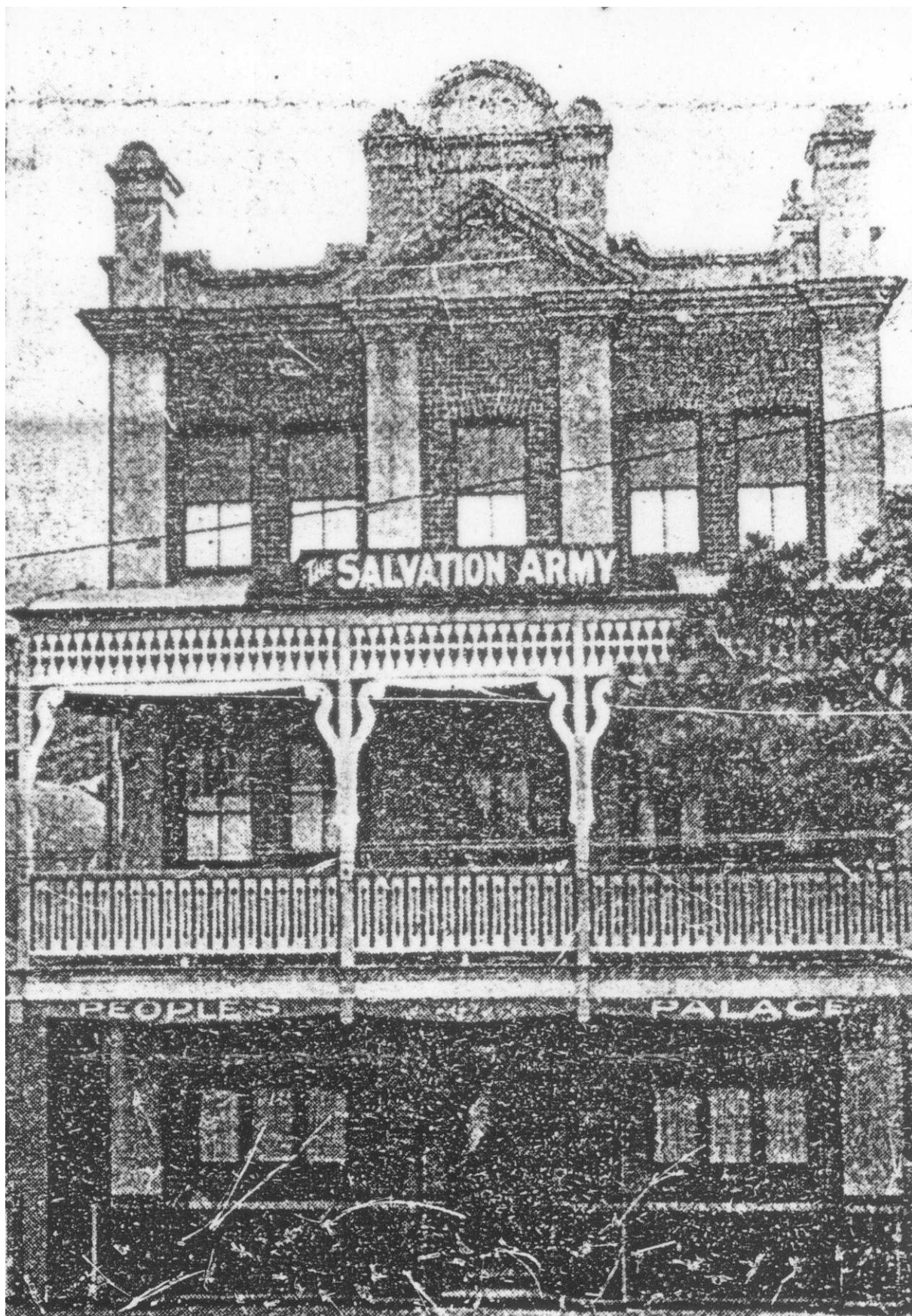


Figure 1 – Earliest known photograph of the People's Palace, 1917 (sourced from Manly Library – Local Studies, scanned from War Cry, 04/08/1917). Note face brick areas, now lost under coats of paint. It would appear that verandah, posts and balustrade were all in one colour.

2. Historical Colour Schemes in Australia and NSW

In heritage houses and residential buildings across NSW, historical colour schemes varied through periods and architectural styles, and were often augmented by natural colours of material such as stone, brick, corrugated metal or timber. These natural material colours, where extant, should not be altered and surfaces not originally painted should not be painted, unless they are already permanently defaced.

However, regardless of architectural style, two basic historical colour palettes seem to continue through various periods: one based on red/brown and the other based on green/grey/off white tones. In either palette, any individual building's facade may typically have up to four key colours. Of these four, one would typically be the main facade "body" colour, with up to three auxiliary colours used for accentuation of details (usually two of these are deeper than the main colour, and one is lighter).

Historically, the streetscapes were dominated by rendered facades in the Victorian period, which were apparently equally present in both the red/brown and the green/grey palette. However, facades of the later Federation and Interwar periods, which were often materialised in face brick, introduced predominance of red or reddish tones.

The current painted scheme is based on typical combination of colours for the period, with paling colours now presenting as: Light Straw (or Pale Cream) main facade colour, with accentuation of details in pale green, dark red and cream. This is a sympathetic colour scheme, and there would be no hindrance from the heritage perspective to keeping the current scheme. In saying that, it is noted that letters indicating the building name are in same colour as the main body background, which is not in keeping with historical precedent. In other details however, a due attention is given to separating, for example, colour of brackets from colour of posts, which is satisfactory.

Given potential sensitivities of the tenants, and historical adequacy of the existing scheme, retention or slight changes to the current colour scheme should be encouraged. (This is opposed to a radical change of colours, which may cause concerns or issues with identification of the place in the perception of long-term tenants).

The current colour scheme may be augmented, based on a deeper variation of Biscuit or Cream or a similar main colour (instead of the current very pale tone) and variations of Indian Red or Brown instead of Red etc. While, as mentioned, an adequate degree of detail is accentuated, this may be slightly varied (for example, timber posts may have a marginally deeper shade of colour than the timber balustrade, etc.)

It is also noted that very pale green elements do not seem to have aged well, have extensively flaked, and in places now present as grey (possibly due to visibility of prime). This may possibly be due to use of a single coat of paint – which is one way of achieving a paler variety of the desired tone – and which should be avoided in the proposed future repainting.

In summary, it would appear feasible to achieve a colour scheme harmonised with historical schemes and, to a great degree, in accord with the current painted scheme. This would mean keeping and complementing the existing cream/straw, red/brown and pale green facade, however, it is deemed that slightly more vivid colours may be adequate and phasing out the elements of the scheme based on very pale green tones is recommended.

Main colour of the building should be a variation of stone colour, ranging from pale to deep. It may have previously been painted as Light Beige, but has dulled over time and now presents close to Light Straw (BS 384). Some potential colours to be considered for this use may include: Light Beige (BS 366), Manilla (BS 367), Biscuit (BS 369), Beige (BS 388), Dark Beige (BS 389) or Salmon Pink (BS 447).

Deep colour (of which there is relatively little) will be only one of a red, brown, or purple. It should be used to accentuate door frames and door leafs, window frames and sashes and similar details. Colours to be potentially considered for this use may include: Golden Brown (BS 414), Venetian Red (BS 445), Red Oxide (BS 446) but also a range of less deep varieties.

Medium Deep colour should be used for accentuation of facade details, and should be based on main colour, following it as its darker variety. For example a Light Beige facade may have Dark Beige as medium deep accentuation of details.

Light colours may vary from off white to cream or deep cream, but not darker than main building colour.

In choosing the colours, it is important to ensure that the tone variation between any two colours is sufficient to allow clear visual distinction to a lay person viewing them on the particular building. It may be possible to design a highly contrasting scheme by expanding the differences between Light and Deep accentuation colours, or between any other pair of colours.

3. Existing and Potential Colour Schemes

The site was inspected and photographed on 17 June 2016. The building, with its current colours is presented in the Figure 2. The historical research has uncovered a photograph taken c. 1999, (Figure 3) with the current colour scheme when the colours were fresh and new. A comparison of Figures 2 and 3 clearly indicates how the colours have dulled over time, and now look considerably different than they did in 1999.

The analysis of historically typical colour schemes, identified by Evans, Lucas and Stapleton (in "Colour Schemes for Old Australian Houses") suggested several possibilities, based on principles outlined in the previous section. The resulting colour schemes are not original, but are deemed equally valuable and equally sympathetic to the item. Three selected options are presented in Figures 4-6 and the associated tables.



Figure 2 – Existing Colours of the People's Palace as seen in 2016



Figure 3 – Current colours of the People's Palace as they presented in 1999 (Manly Library)

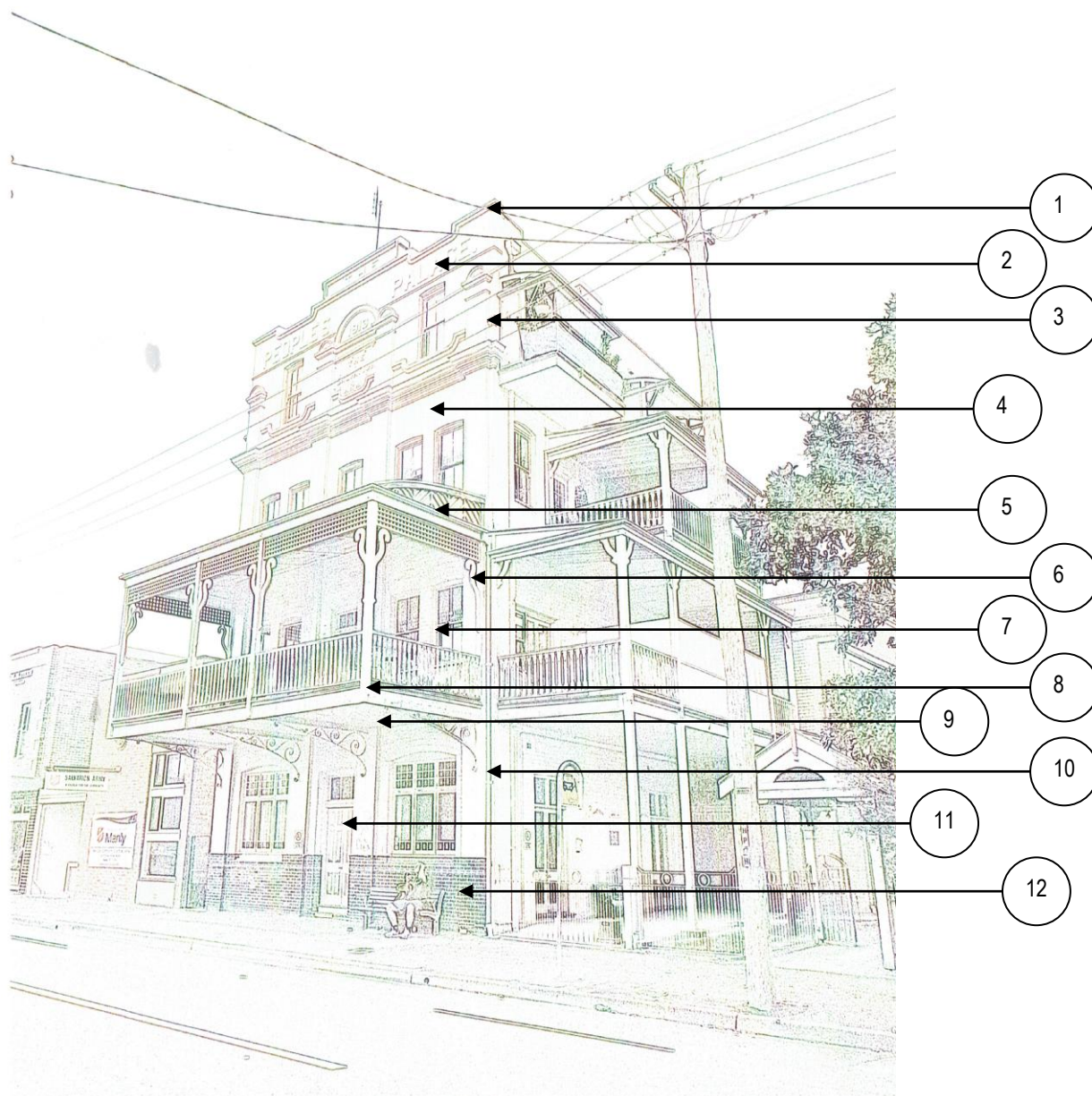


Figure 4 – Potential Colours for the People’s Palace – Scheme A (marked on an edited photograph)

| Colour No. - Element | Current colour | Proposed colour | Swatch | RGB values |
|------------------------------|-----------------|-------------------|--------|---------------|
| 1 – Rendered decorations | Red/brown | Indian Red BS 448 | | 87; 40; 34 |
| 2 – Building name | Light Straw (?) | Indian Red BS 448 | | 87; 40; 34 |
| 3, 8, 9 – Main accent colour | Pale Green | Beige BS 388 | | 196; 172; 163 |
| 4 – Main wall colour | Light Straw (?) | Pale Cream BS 352 | | 227; 202; 142 |
| 5, 6 – Second accent colour | Pale Cream (?) | Eau-de-Nil BS 216 | | 154; 183; 119 |
| 7, 11 – Windows and doors | Cream | Pale Cream BS 352 | | 227; 202; 142 |
| 10 – Gutters and downpipes | Grey | Eau-de-Nil BS 216 | | 154; 183; 119 |
| 12 – Tiles | Not painted | Not painted | | |

Note: window frames on main elevation (top two floors) are accentuated in colour 1.










Figure 5 – Potential Colours for the People’s Palace – Scheme B (marked on an edited photograph)

| Colour No. - Element | Current colour | Proposed colour | Swatch | RGB values |
|------------------------------|-----------------|-------------------|--------|---------------|
| 1 – Rendered decorations | Red/brown | Gulf Red BS 473 | | 101; 39; 34 |
| 2 – Building name | Light Straw (?) | Gulf Red BS 473 | | 101; 39; 34 |
| 3, 8, 9 – Main accent colour | Pale Green | Manila BS 367 | | 229; 209; 174 |
| 4 – Main wall colour | Light Straw (?) | Biscuit BS 369 | | 235; 202; 160 |
| 5, 6 – Second accent colour | Pale Cream (?) | Deep Cream BS 353 | | 243; 201; 119 |
| 7, 11 – Windows and doors | Cream | Deep Cream BS 353 | | 243; 201; 119 |
| 10 – Gutters and downpipes | Grey | Biscuit BS 369 | | 235; 202; 160 |
| 12 – Tiles | Not painted | Not painted | | |

Note: window frames on main elevation (top two floors) are accentuated in colour 1.



Figure 6 – Potential Colours for the People’s Palace – Scheme C (marked on an edited photograph)

| Colour No. - Element | Current colour | Proposed colour | Swatch | RGB values |
|------------------------------|-----------------|--------------------|---|---------------|
| 1 – Rendered decorations | Red/brown | Crimson BS 540 |  | 99; 20; 27 |
| 2 – Building name | Light Straw (?) | Crimson BS 540 |  | 99; 20; 27 |
| 3, 8, 9 – Main accent colour | Pale Green | Beige BS 388 |  | 196; 172; 163 |
| 4 – Main wall colour | Light Straw (?) | Manila BS 367 |  | 229; 209; 174 |
| 5, 6 – Second accent colour | Pale Cream (?) | Light Jade |  | 156; 211; 192 |
| 7, 11 – Windows and doors | Cream | Pale Cream BS 4052 |  | 227; 202; 142 |
| 10 – Gutters and downpipes | Grey | Light Jade |  | 156; 211; 192 |
| 12 – Tiles | Not painted | Not painted | | |

Note: window frames on main elevation (top two floors only) are accentuated in colour 1.

4. Proposed Colour Scheme

Given that each of the three potential new colour schemes was deemed equally acceptable and equally sympathetic, the decision was made by the Client (NSW LAHC) to proceed with the Option C, as the preferred colour scheme. This scheme was then digitally applied to the 1999 photograph and the outcome is presented in Figure 7.



Figure 7 – Proposed Colours for the People's Palace – Scheme C (edited photograph)

5. Approved Colour Scheme

Further to application for Minor and Maintenance Works, the Northern Beaches Council has approved the Colour Scheme A. This scheme was then digitally applied to the 1999 photograph, in order to create the photomontage which will present the scheme as it will presumably present upon completion of works. This is presented in Figure 8.



Figure 8 – Council approved colours for the People's Palace – Scheme A (edited photograph). Note that colours shown on screen differ from real-life colours. Refer to AS colour identification code table in p. 12.

| Element | Current colour | Proposed colour in AS 2700 S-1985 | Proposed colour in BS 381C | Swatch |
|----------------------|----------------|-----------------------------------|-------------------------------|---|
| Rendered decorations | Red/brown | R64 (Deep Indian Red) | BS 448 (Indian Red) |  |
| Building name | Light Straw | R64 (Deep Indian Red) | BS 448 (Indian Red) |  |
| Main accent colour | Pale Green | Y54 (Oatmeal) | BS 388 (Beige) |  |
| Main wall colour | Light Straw | Y24 (Straw) | BS 352 (Pale Cream) |  |
| Second accent colour | Pale Cream | G24 (Palm Green) | BS 216 Eau-de-Nil |  |
| Windows and doors | Cream | Y24 (Straw) | BS 352 (Pale Cream) |  |
| Gutters / downpipes | Grey | G24 (Palm Green) | BS 216 Eau-de-Nil |  |
| Tiles | Not painted | Not painted | Not painted | |

Note: window frames on main elevation (top two floors) are accentuated in colour 1.

Note that BS and AS colour names are not consistent, and do not match paint names as available in the market. Colours as shown on screen differ from real-life colours. In case of any inconstancy, AS colour identification code as per the table in p. 12 will prevail.

All colours are approximate and minor modifications may be required subject to sample test painting. The paint is to be mixed on site and subject to sample test painting before application on the building.

6. Conclusions

Based on the documentary research of typical colour schemes for buildings of date of construction and type similar to People's Palace, and on analysis of original and past colour schemes of the People's Palace, it is recommended to apply the colour scheme as depicted in Table on this page (p. 12), and illustrated in Figures 4 and 8 of this report.

It is deemed that the proposal to repaint the People's Palace in selected colours is approved from seeking development approval, under the Clause 5.10.3 of the Manly LEP.

Note that BS and AS colour names are not consistent, and do not match paint names as available in the market. Colours as shown on screen differ from real-life colours. In case of any inconstancy, AS colour identification code as per the table in p. 12 will prevail.

To discuss this report or any other related issues in further detail, please do not hesitate to call me on 0408 637 213.

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People's Palace in 2016

LAHC NSW

People's Palace

61-63 Pittwater Road, Manly

Proposed Schedule of Works

July 2016

Issue A – Final Draft –04/07/2016

Issue B – Final further to Client's review – 15/07/2016

Manly 61-63 Pittwater Road Schedule of Works July 2016.doc

15/07/2016

People's Palace

61-63 Pittwater Road, Manly

Proposed Schedule of Works

This report presents an overview of proposed and recommended works to the property of 61-63 Pittwater Road, Manly. The report is prepared on behalf of LAHC NSW, the owner of the property.

This report is prepared for Client's review and approval, prior to lodgement as part of the application for approval with Northern Beaches Council (Council).

The report should be read in conjunction with the other reports prepared as part of the same proposal, including:

- Assessment of heritage impact,
- Colour Scheme, and
- QS Report.

The proposal affects the site of 61-63 Pittwater Road, listed as an individual heritage item in the Schedule 4 of the Manly Council's Local Environmental Plan (LEP). The item, known as "People's Palace", is a local item of considerable architectural and social value. The site affected by works comprises also the non-significant modern buildings sited within the same property. The site is also located within Pittwater Road heritage conservation area, and it is in the vicinity of several individually listed items.

The report was prepared by Zoran Popovic, heritage consultant. Information on the proposal, including technical plans and reports, was provided by Vivian Wei of LAHC, Project Manager of the project. Information on history and significance of the site was provided partly by Vivian Wei, and partly by John MacRitchie of Manly Library (Local Studies Section) and by Sophie Butler and Louise Doherty, Council's heritage advisors. Contemporary photographs were taken by Zoran Popovic, specifically for the purposes of this report.

1. History and Significance of the Place

People's Palace is described in the State Heritage Inventory (SHI) datasheet as: *A large-scale 4-storey, tuck pointed red brick and painted brick hostel with timber cantilevered verandah to first floor. Ornate pilastered Free Classical façade. Verandah has decorative scrolled metal awning brackets and organic styled timber brackets and lattice valence above. Double hung windows to upper level and casement sashes with coloured glazing to ground floor level with coloured glazing in top. Glazed ceramic tiles to street level entrance with art nouveau motif. Double leaf panelled front door. The front of the building, on the ground floor, was the original location of the communal dining room; while the area behind the first floor balcony housed the communal lounge room. "The garden roof is an outstanding feature of this modern Hostel" (The War Cry, 8.11.1913).*

The history section (based on personal comments of Robyn Edge, Salvation Army Archivist) includes remarks that the subject land was part of the 1842 Grant to J Thompson and that the building was one of a number of "people's palaces", constructed by the Salvation Army. The Manly People's Palace, opened in September 1913, was one of the first three People's Palaces erected by the Salvation Army in Australia. It aimed at providing clean, safe accommodation for country people on holidays. ("The War Cry" 22 March 1913, 4 March 1913, 8 November 1913). This was amended to include information that rear section of the building and adjoining cottage to north were demolished and replaced by infill development c.1994, when the People's Palace was adjusted to use as public housing.

The current Statement of significance is concise, and reads: "This item is of local and state cultural heritage significance as it demonstrates the pattern of development of Manly and, in particular, that associated with Pittwater Road. Constructed on a transport corridor close to the Steyne, it is an important example of a hostel built by the Salvation Army for holiday-makers from the country, one of the first three built in Australia. It is a fine and unique example of a large scale hostel displaying elements of the free classical style of architecture."

More details on history of the place are provided in the Statement of Heritage Impact report and in the appendices to that report.

In the SHI datasheet, the People's Palace was found to meet the NSW Heritage Council's criteria for heritage listing: A (historical), C (aesthetic), and F (rarity).

The identified associations with Australian and NSW heritage themes include:


| Australian Theme (abbrev.) | New South Wales Theme |
|--|--|
| 4. Settlement – Building settlements, towns and cities | Towns, suburbs and villages - Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages |
| 7. Governing-Governing | Welfare-Activities and process associated with the provision of social services by the state or philanthropic organisations |

2. Proposed Schedule of Works

The site was inspected on 17 June 2016. The inspection included only exterior features, and only elements visible from the ground level were surveyed. Due to potential sensitivity of tenants, the other areas were not inspected. The aim of the inspection was to note requirements for maintenance actions which are readily identifiable. The inspection did not include or assess any structural elements nor any compliance with the National Construction Code.

The works will have to be conducted in accordance with the Reference Specification for Housing Construction (prepared by LAHC Contracts & Quality in February 2013) and all associated Australian Standard provisions applicable.

Note that a quantity survey was not part of the scope of this report. The quantity survey should be prepared prior to issue of tender, and will be prepared by a quantity surveyor with detailed estimate of prices and quantities required. However, the following maintenance requirements were noted and are recommended to be rectified as part of the current project:

| | |
|---|---|
| People's Palace, 61-63 Pittwater Road, Manly | |
| Schedule of Recommended Maintenance Works | |
| PEOPLE'S PALACE BUILDING | |
| All Elevations Generally | |
|  | <p>Re-paint all external surfaces which are meant to be painted in colours as per the approved colour scheme.</p> <p>Repair or replace all damaged or missing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of detail and methodology.</p> <p>Refer to Proposed Colour Scheme report for details.</p> <p>Refer also to next point.</p> |

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Main Elevation Balcony



Check all balcony elements, including structural, railings, lining, roofs, decorative and guttering/downpipes. Repair or replace each damaged or missing element to match the original as required. Contractor's engineer to confirm acceptability of methodology and detail.

Replace missing or damaged railing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.

Carefully remove metal brackets and clean, remove old paint, remove rust, prime, repaint with two coats of paint, and re-install.

Contractor's engineer to confirm acceptability of methodology and detail. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Repaint all elements in approved colours. Refer to Proposed Colour Scheme report for details.

On ground level, replace individual missing or damage tiles to match original.

Repair guttering, frame, internal lining, timberwork and all other elements as required. Inspect roofing, repair or replace as required.

Clean, prime, and repaint all elements in approved colour scheme.

Refer also to next point.

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Side Elevation Verandah



Check all balcony elements, including structural, railings, lining, roofs, decorative and guttering/downpipes. Repair or replace each damaged or missing element to match the original as required. Contractor's engineer to confirm acceptability of methodology and detail.

Replace missing or damaged railing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.

Repair guttering, frame, internal lining, timberwork and all other elements as required. Inspect roofing, repair or replace as required.

Clean, prime, and repaint all elements in approved colour scheme.

Refer also to next point.

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Secondary (Top Floor) Balconies



Check all balconies, including structure, railings, roofs, and repair or replace all elements as required.

Carefully remove metal brackets and frame supporting the roof, clean, remove old paint, remove rust, prime, repaint with two coats of paint, and re-install. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.

Inspect roofing, repair or replace as required.

Repaint all elements in approved colours. Refer to Proposed Colour Scheme report for details.

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

All Elevations – Windows Generally



Protect glass areas during works. Check window operability, repair as required to match the existing detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme.

Please refer to Proposed Colour Scheme report for details.

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

All Elevations – Doors Generally



Check door operability, repair as required to match the existing detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme.

Please refer to Proposed Colour Scheme report for details.



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Main Elevation – Tiled Areas



Protect tiled areas during works. Inspect, repair individual tiles to match original as required.



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

NEW BUILDINGS ON SITE

All Areas Generally



Repaint and conduct any minor repairs required to all components in balconies, picket fences ground floor and 3 entrance canopies only and only for the building located behind/attached to heritage front building. Repair or replace all damaged or missing elements to match the original detail, form, finish and material. Contractor's engineer to confirm acceptability of detail and methodology. Refer also to next point.



Note: This building is to be excluded from any work apart from clothes line area



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

All Elevations Generally



Check all balconies, including structure, railings, roofs, and repair or replace all missing or damaged elements as required.

Carefully clean, remove old paint, remove rust, prime, repaint with two coats of paint. Deteriorated elements are to be removed, disposed off, and replaced with elements matching in form, finish and material. Contractor's engineer to confirm acceptability of methodology and detail.

Inspect roofing, repair or replace as required.

Repaint all elements in existing colours.



Note: This building is to be excluded from any work apart from clothes line area

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Entrance Canopies to Units – No. 61



Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme. Repair brickwork, replace individual missing bricks with matching bricks as required.



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Low Front Fencing to Units – No. 61



Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber elements of paint, prime, repaint in colours as per the approved colour scheme.



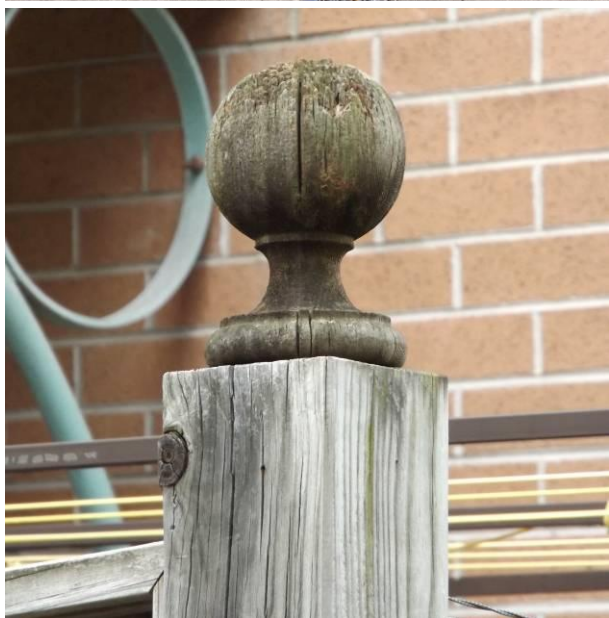
People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Internal Property Fencing to Rear of Units – No. 63



Internal Property Fencing to Rear of Units – No. 63 – Replace to match the current detail.



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

SHARED ELEMENTS – PROPERTY FENCES AND OTHER

Pittwater Road Entry Portico



Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip timber elements of paint, prime, repaint surfaces which are meant to be painted in colours as per the approved colour scheme. Please refer to Proposed Colour Scheme report for details.



People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

Pittwater Road Property Fence



Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber elements of paint, prime, repaint in colours as per the approved colour scheme.

Please refer to Proposed Colour Scheme report for details.

People's Palace, 61-63 Pittwater Road, Manly

Schedule of Recommended Maintenance Works

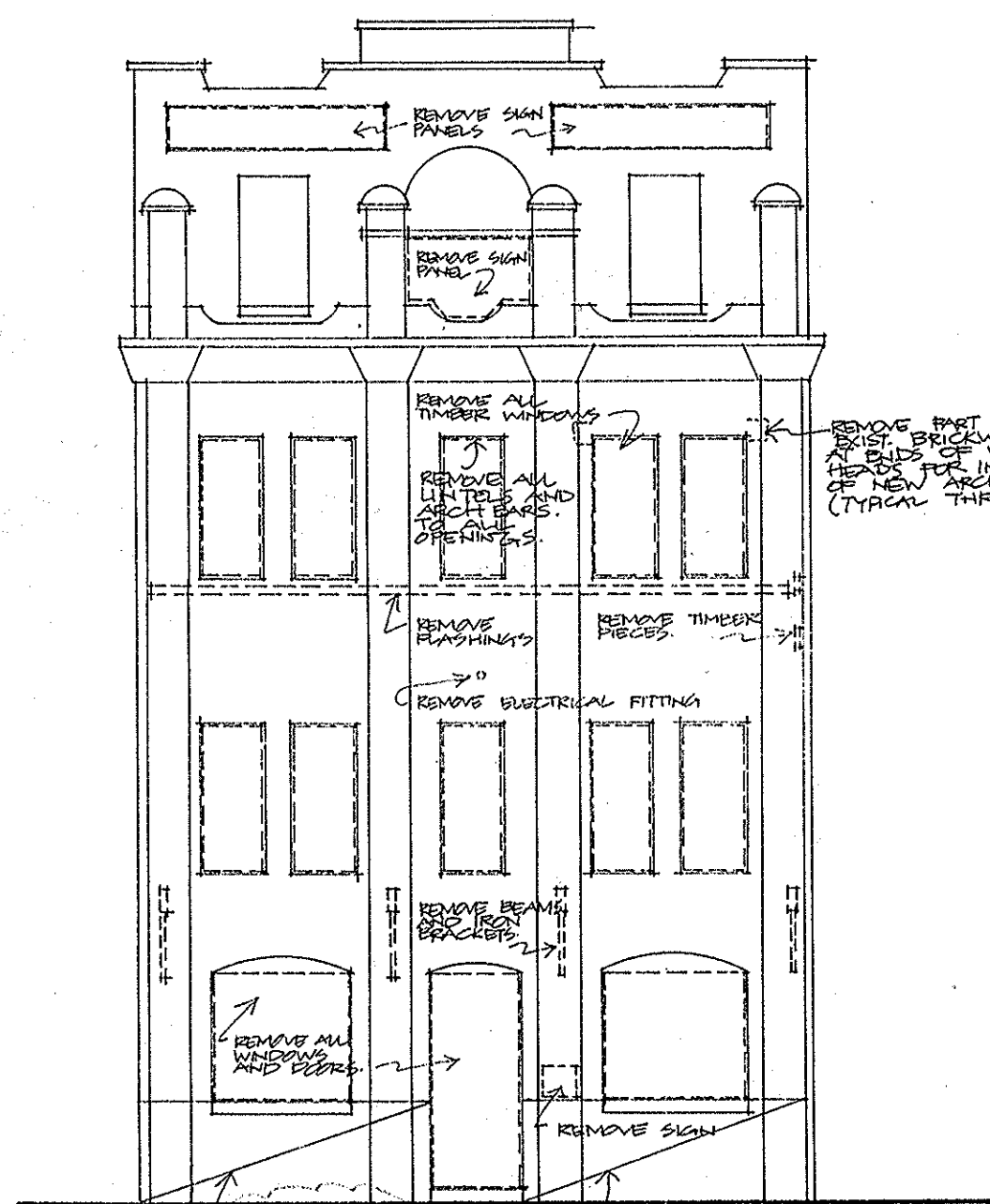
Rear Lane Property Fence



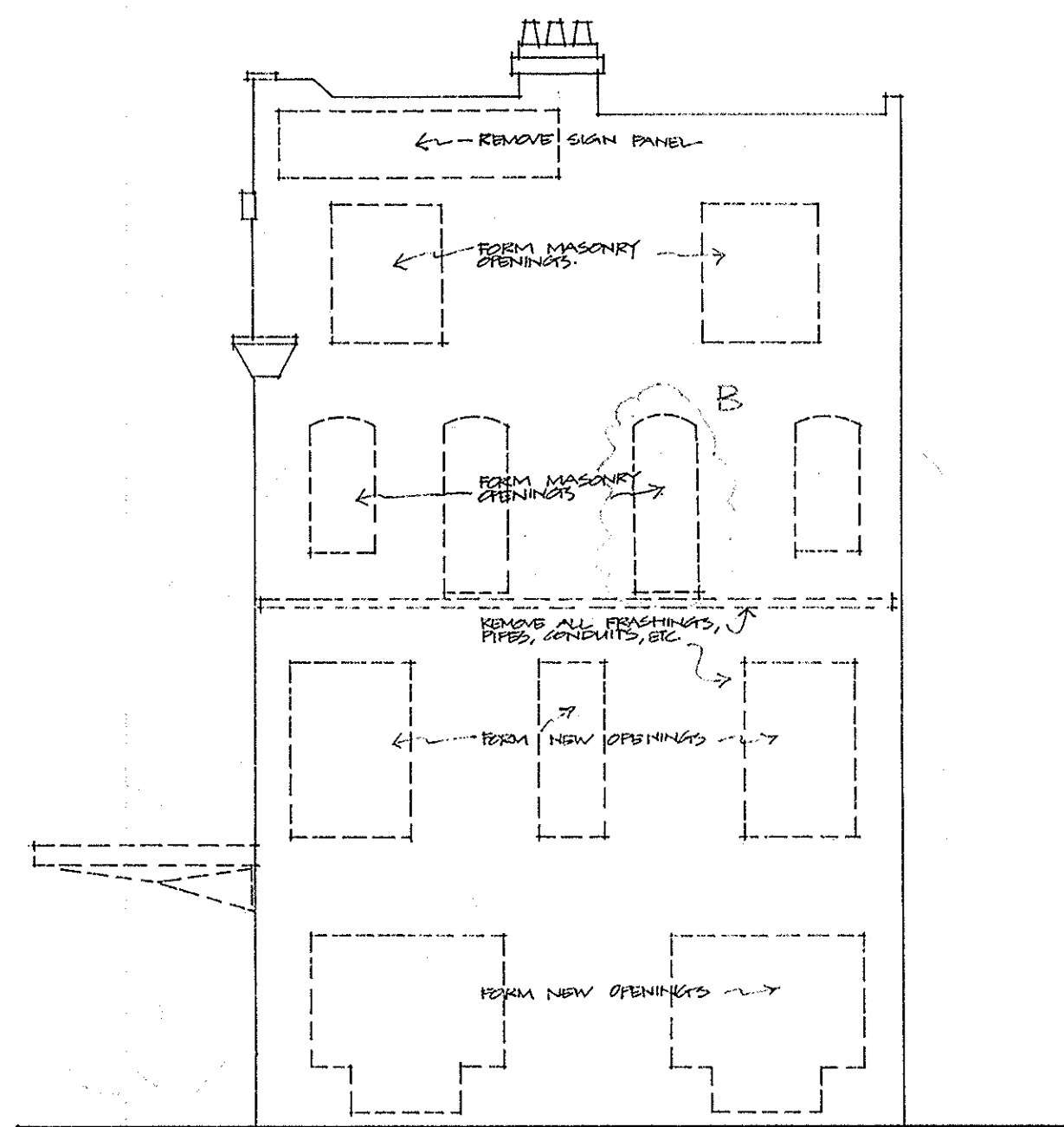
Inspect, repair or replace missing and damaged elements as required to match the original detail. Strip metal gates elements of paint, clean, remove old paint, remove rust, prime, and repaint with two coats of paint. Strip timber gates elements of paint, prime, repaint in colours as per the approved colour scheme. Repair brickwork, replace individual missing bricks with matching bricks as required.

I trust that the consent authority will find this report satisfactory; should the officers wish to discuss this report or any other related issues in further detail, please do not hesitate to call me on 0408 637 213.

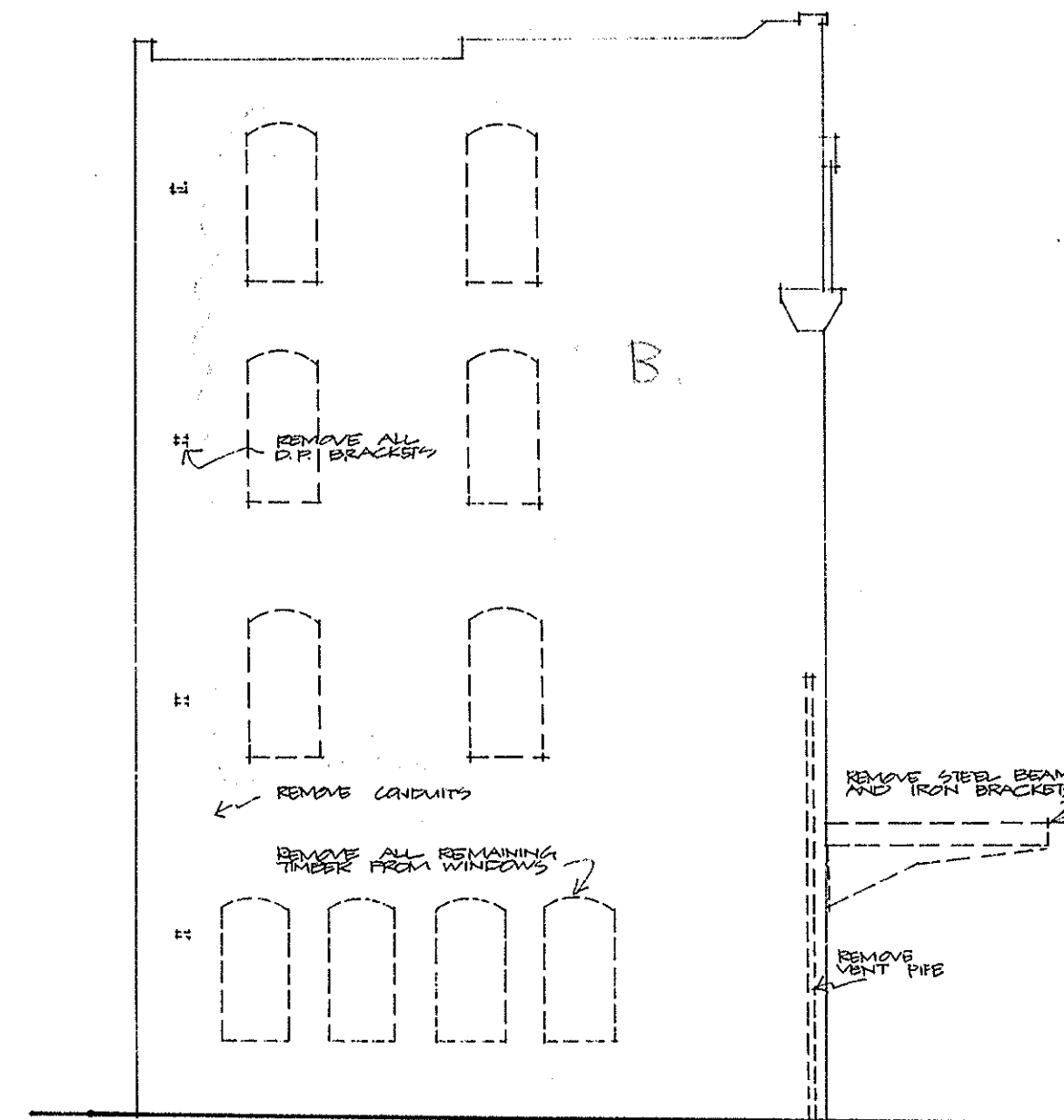
Zoran Popovic
Heritage Consultant



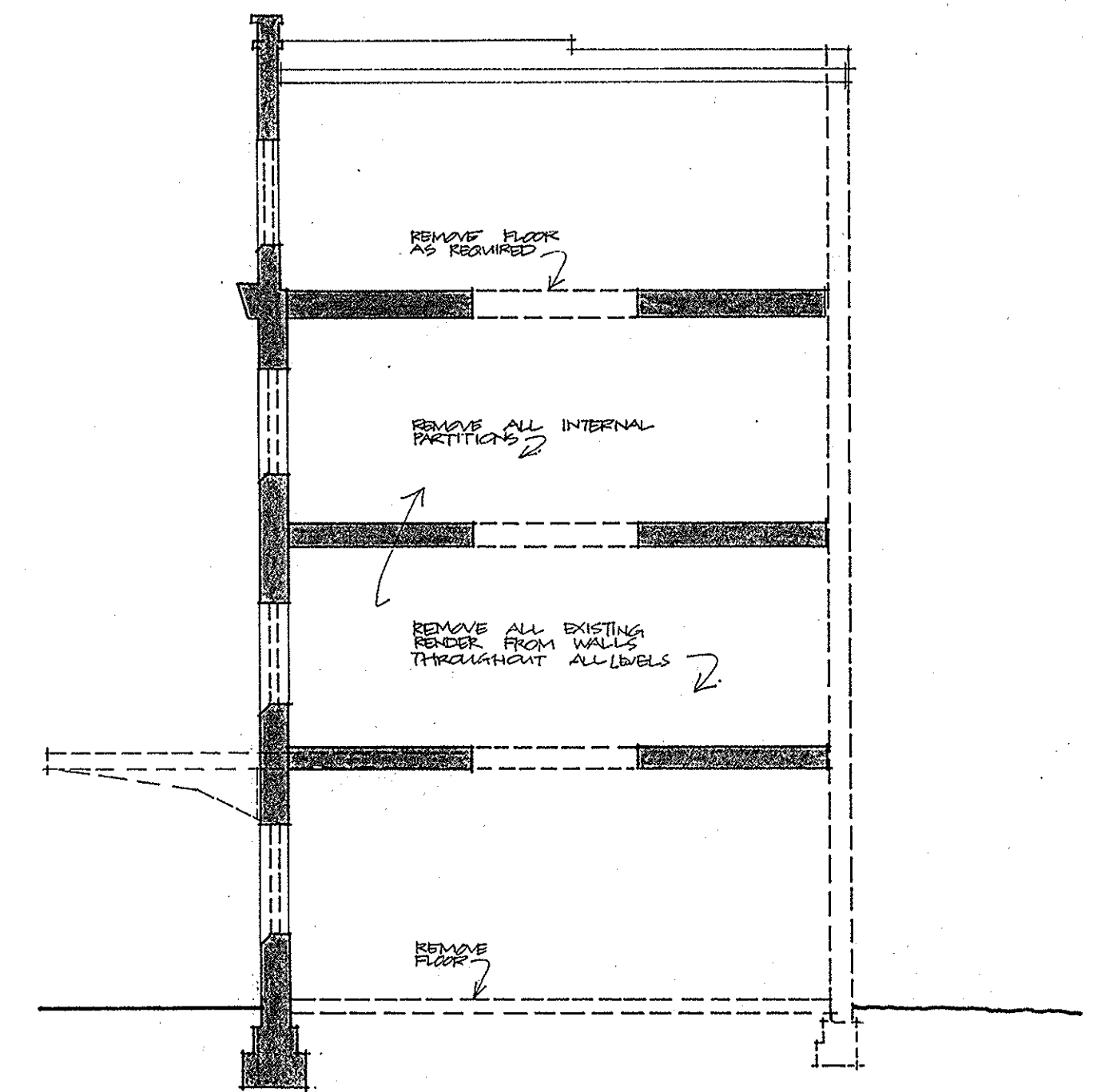
EAST ELEVATION



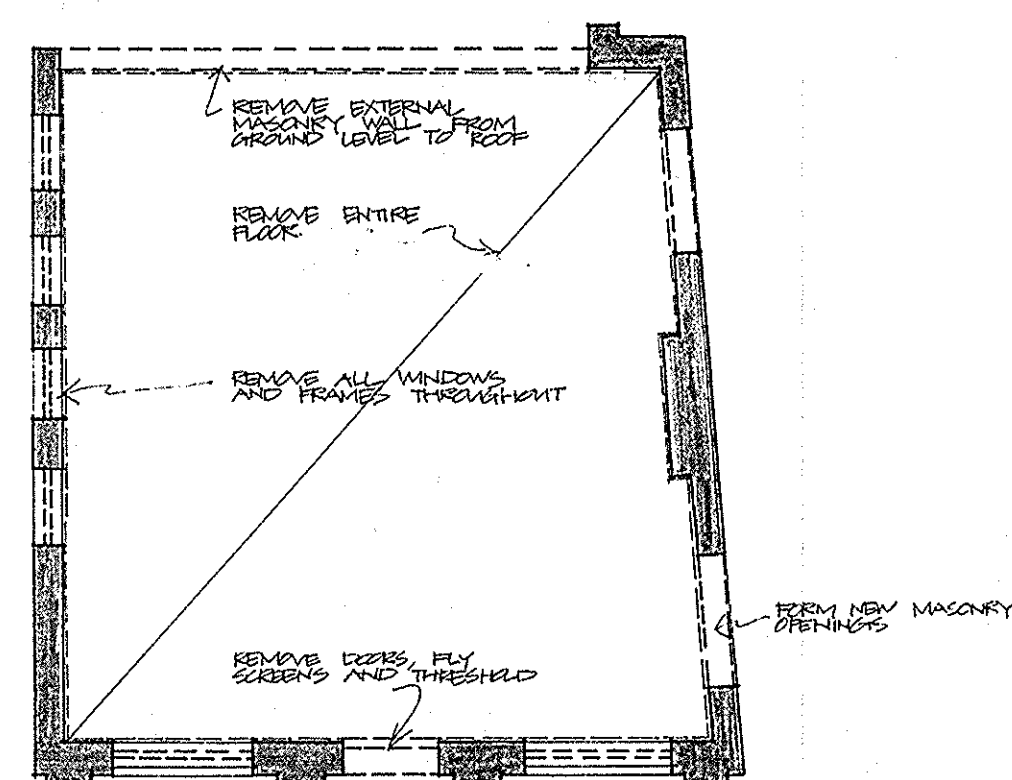
NORTH ELEVATION



SOUTH ELEVATION

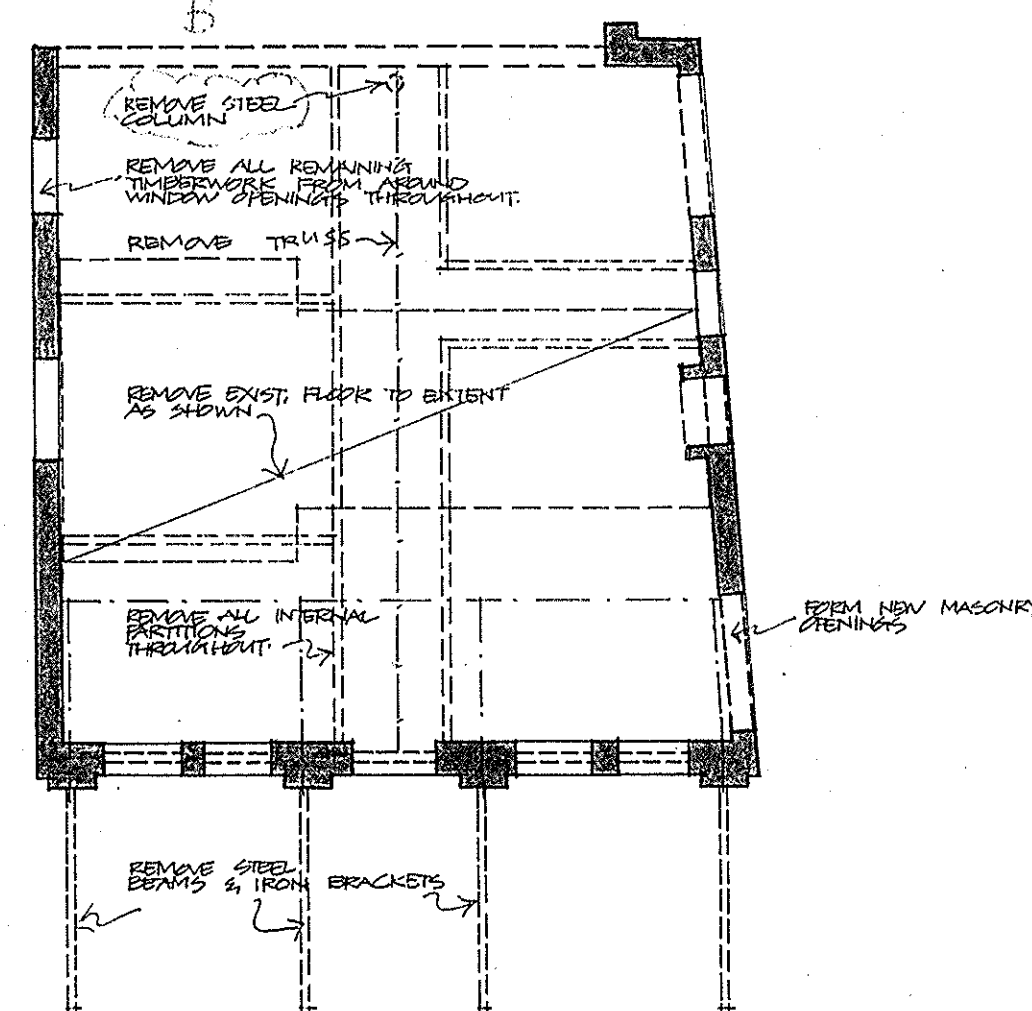


SECTION

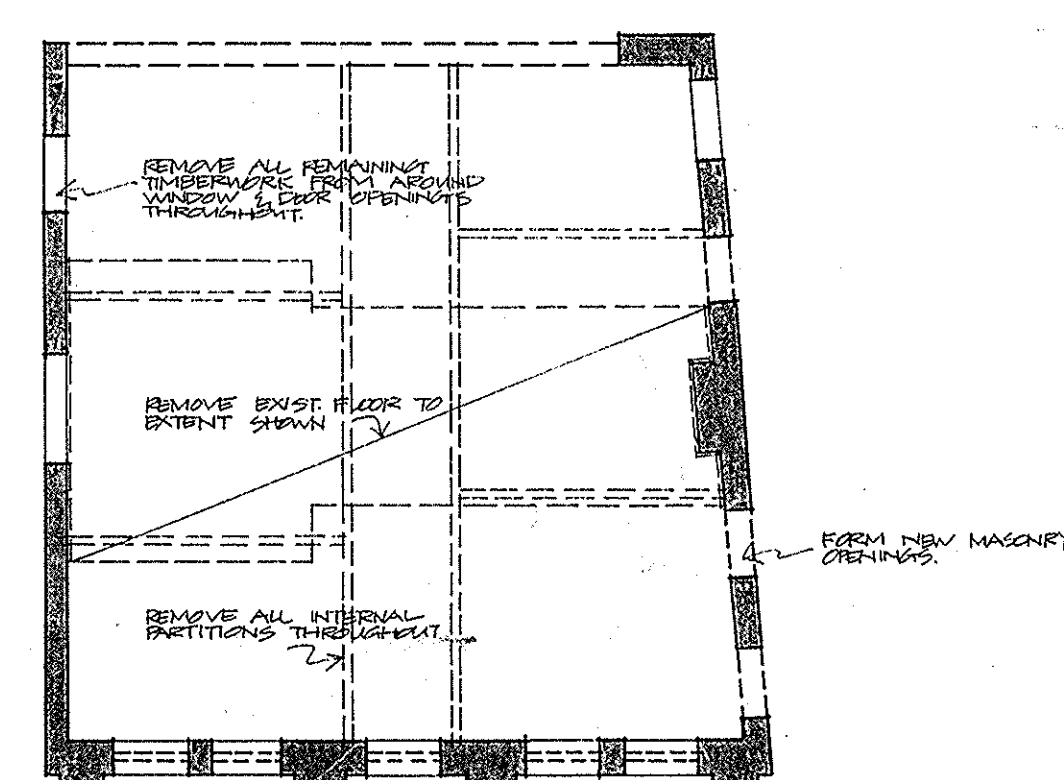


GROUND FLOOR PLAN

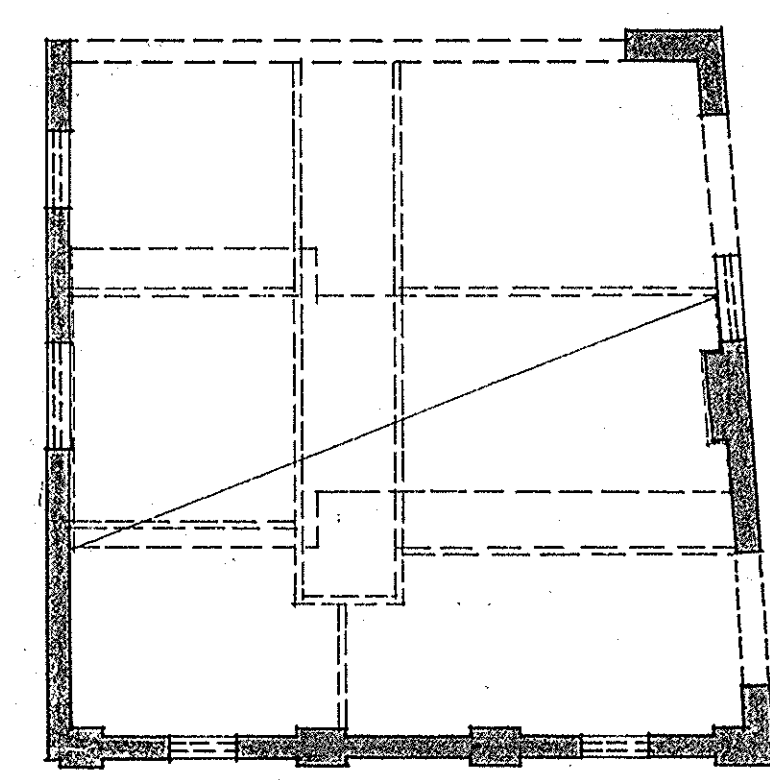
NOTE: BUILDING'S STRUCTURAL STABILITY TO BE MAINTAINED THROUGHOUT DEMOLITION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REFER TO SECOND FLOOR LAVA NOTES.

Tiles removed 10/15/01 - Column removed, South elev - windows added, 14/12/01
 B. 15/02/01 - doors added

Brickwork at window heads removed, 15/02/01
 Single archbars between Remove render from walls. 15/02/01

| | | | |
|-----------|-----------|------|----|
| ISSUE NO. | AMENDMENT | DATE | TO |
| A. | | | |
| B. | | | |

PROJECT: REHABILITATION AND INFILL HOUSING
 61-63 PITWATER RD
 MANLY FOR THE DEPARTMENT OF HOUSING

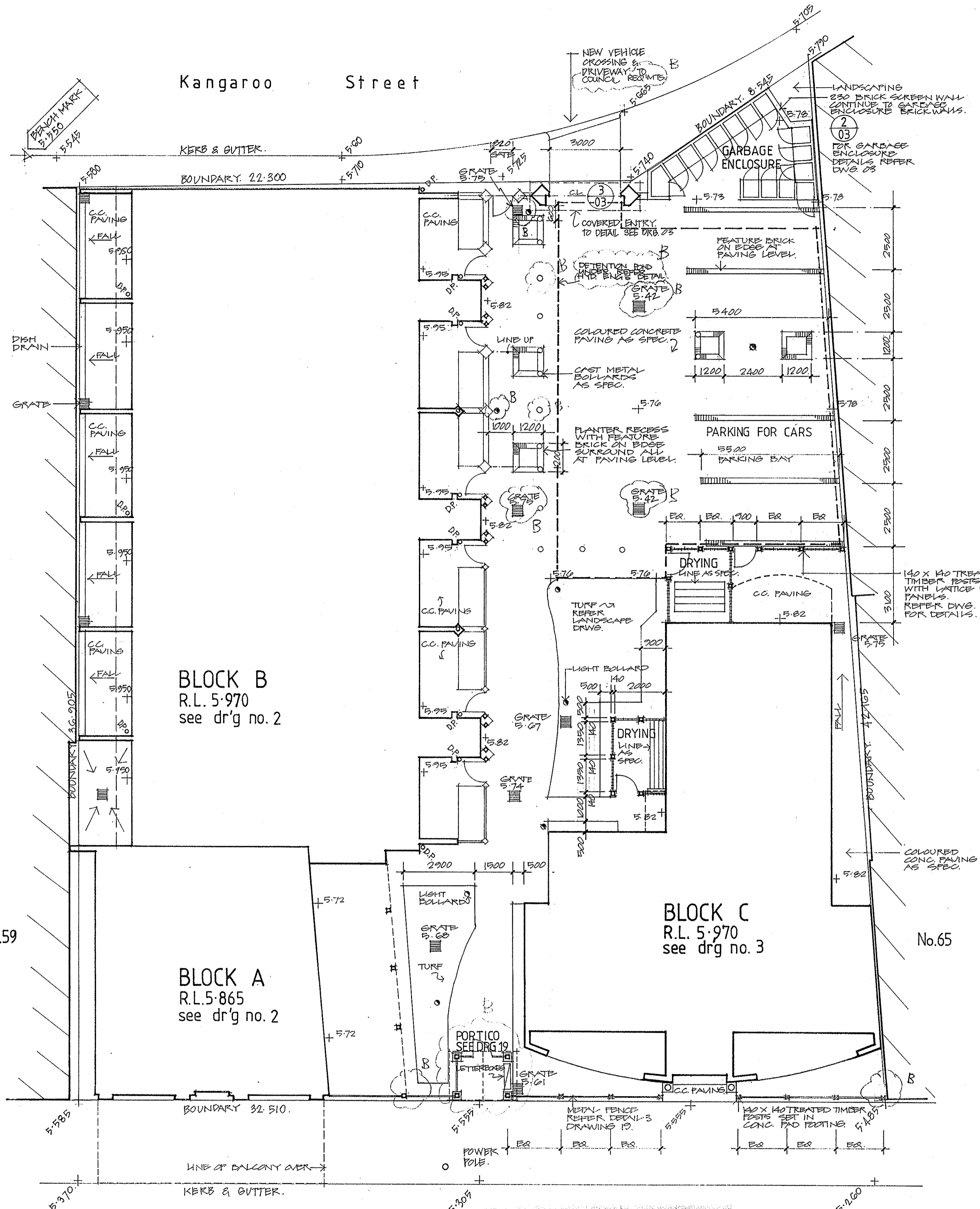
INNOVAC DYER ARCHITECTS
 CHATSWOOD VILLAGE
 47 NEWBORN STREET
 CHATSWOOD, NSW
 TELEPHONE 419 7299

DEMOLITION PLAN

| | | | |
|-----------------|-------------|------------|--------------|
| JOB NO: | DATE: | SCALE: | DRAWING NO.: |
| 25108/001/01020 | NOV/01 | 1:100 | D.1 |
| DRAWN BY: | CHECKED BY: | ISSUED BY: | |
| B.D. | | A | |

REQUIRED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS.
 ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

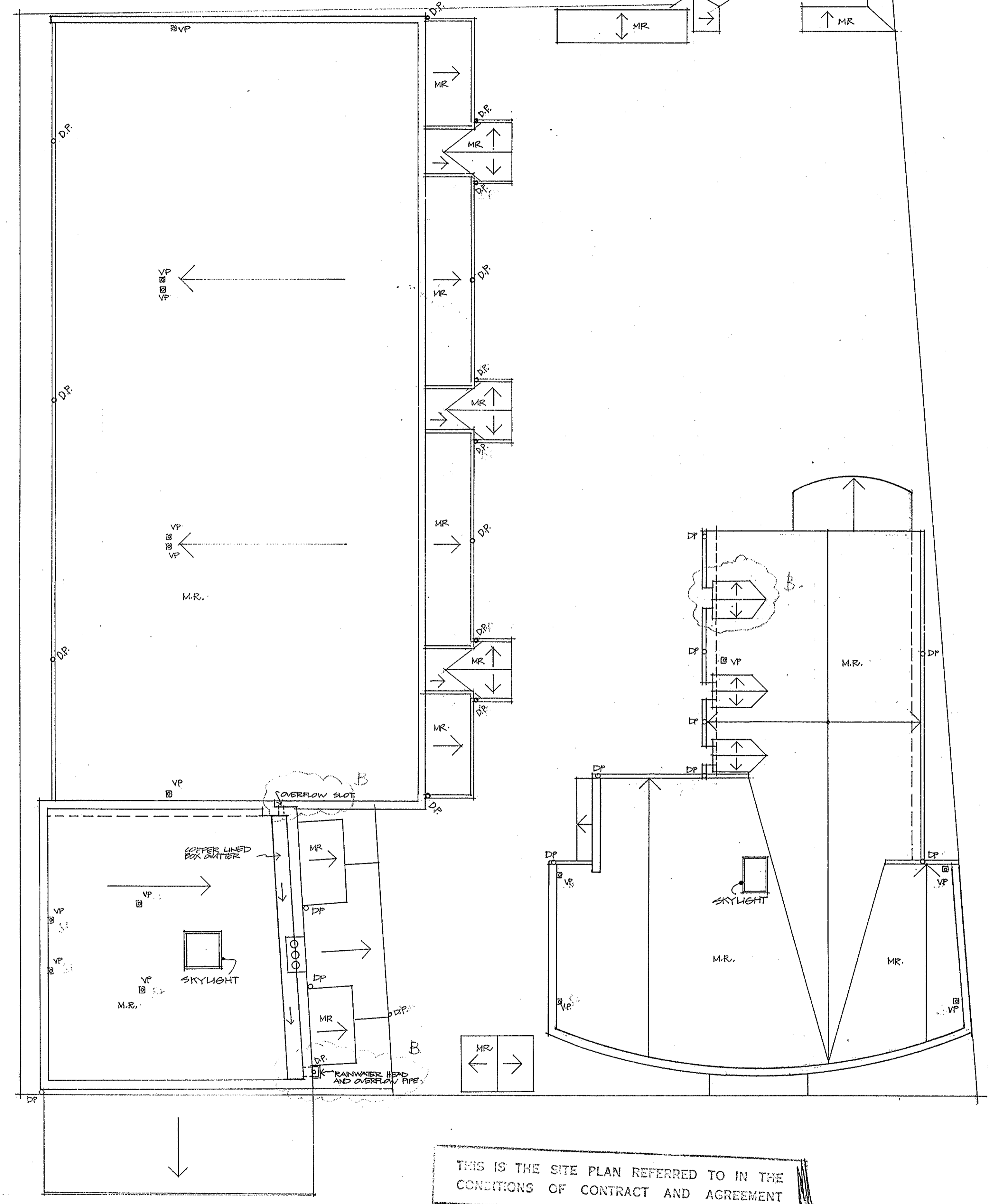
Kangaroo Street



BLOCK B
R.L. 5.970
see dr'g no. 2

BLOCK A
R.L. 5.865
see dr'g no. 2

BLOCK C
R.L. 5.970
see dr'g no. 3



ROOF PLAN

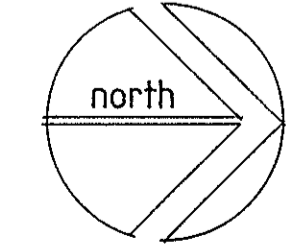
THIS IS THE SITE PLAN REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

SITE PLAN

- LEGEND**
- DRYING YARD AND PRIVACY SCREEN
 - FENCE TO PITWATER ROAD
 - BOLLARD
 - LIGHT BOLLARD
 - LIGHT POLE
 - EXISTING LEVELS.
 - NEW LEVELS
 - COLOURED CONCRETE PAVING
 - VENT PIPE (REFER HYDRAULIC ENGS DWGS).

LEGEND All the abbreviations and symbols listed are not necessarily used on this drawing

| GENERAL | |
|---------|-----------------------------|
| B(TS) | Beam (timber steel) |
| Bth | Bath tub |
| Bn | Basin |
| Bw | Brickwork |
| C | Cupboard |
| CaR | Cement render |
| CoT | Cement topping |
| CoT | Ceramic tiles |
| Dp | Downpipe |
| DPO | Damp proof course |
| FBW | Face brickwork |
| FCF | Fibre Cement |
| FG | Fixed glass |
| FW | Floor waste |
| HB | Horizontal boarding |
| Hd | Hardboard |
| LC | Linon cupboard |
| Mh | Manhole |
| NTS | Not to scale |
| OAF | Overall frame |
| Pkb | Plankboard |
| Plb | Plasterboard |
| Ptb | Particleboard |
| QT | Quarry tiles |
| RC | Reinforced concrete |
| Ref C | Refrigerator space |
| RT | Roof tiles |
| S | Sink |
| SC | Shaving cabinet |
| SCH | Slow combustion heater |
| SH | Shower |
| SH | Space heater (if spec.) |
| SH | Shower |
| SSD | Security screen door |
| SI | Cooking stove |
| SL | Laundry tub |
| Th | Thermostat (if spec.) |
| TPH | Toilet paper holder |
| TR | Towel rail |
| V | Vent |
| VB | Vertical boarding 1 |
| Vbn | Vanity basin |
| WB | Weatherboards |
| WC | Water closet |
| WH | Water heater |
| WHG | Water heater gas (if spec.) |
| WM | Washing machine |



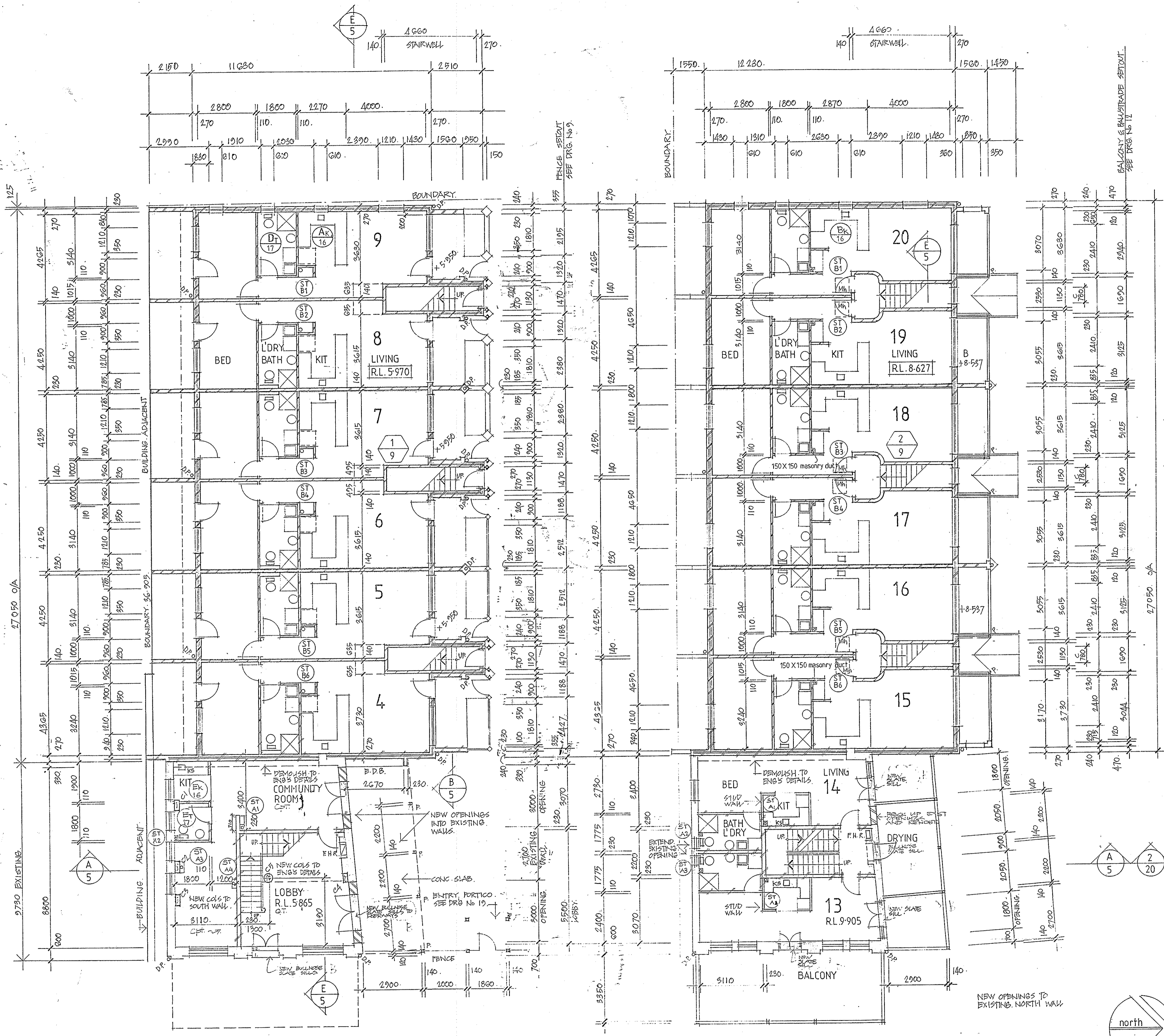
REHABILITATION AND INFILL HOUSING
61-63 PITWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
27 MERRIDAH STREET
CHATSWOOD 2057
TELEPHONE 419 7259

SITE PLAN & ROOF PLAN

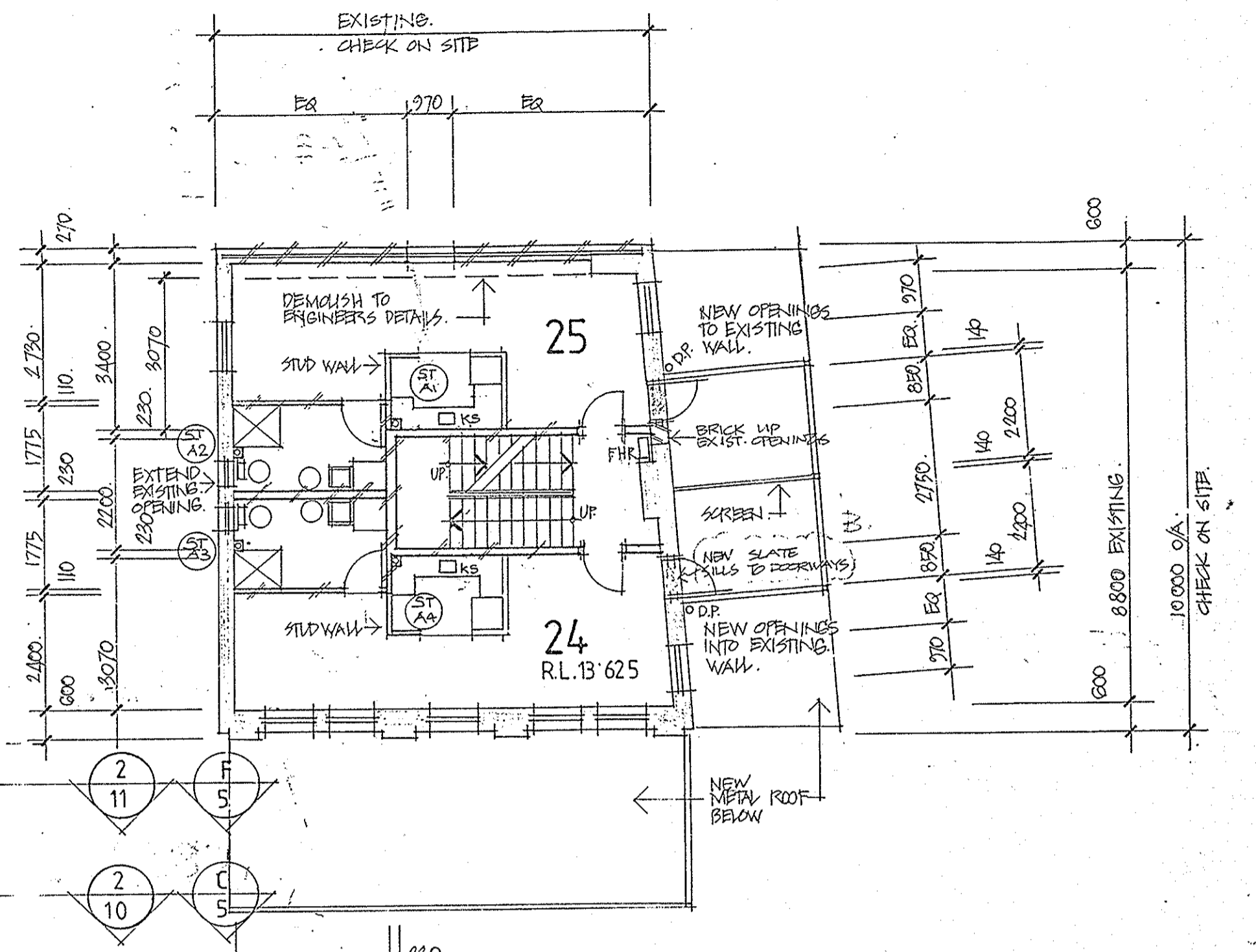
DATE: NOV. 91
SCALE: 1:100
DRAWING NO: A01

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING DIMENSIONS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



GROUND FLOOR PLAN

FIRST FLOOR PLAN



SECOND FLOOR PLAN

THIRD FLOOR PLAN

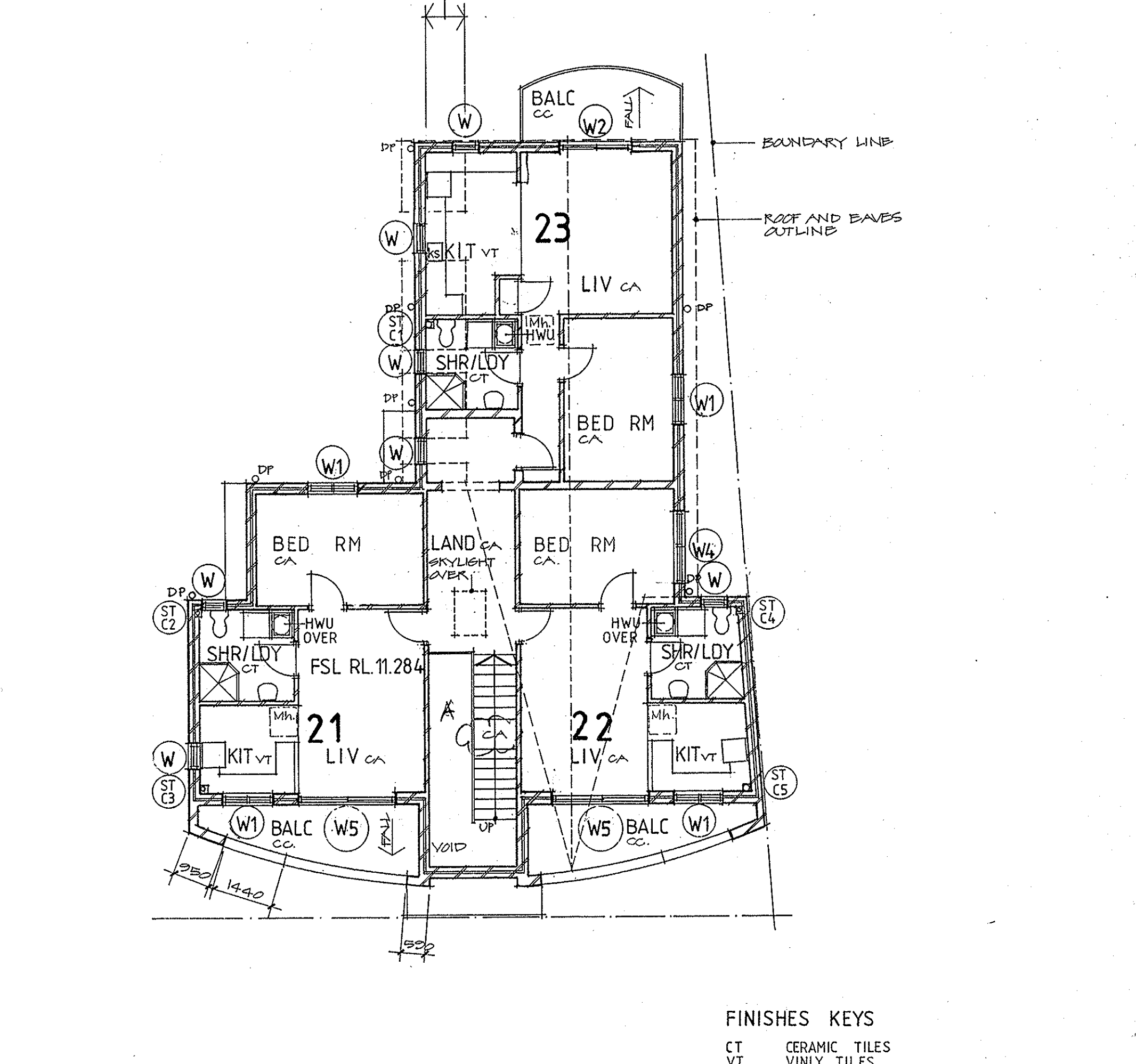
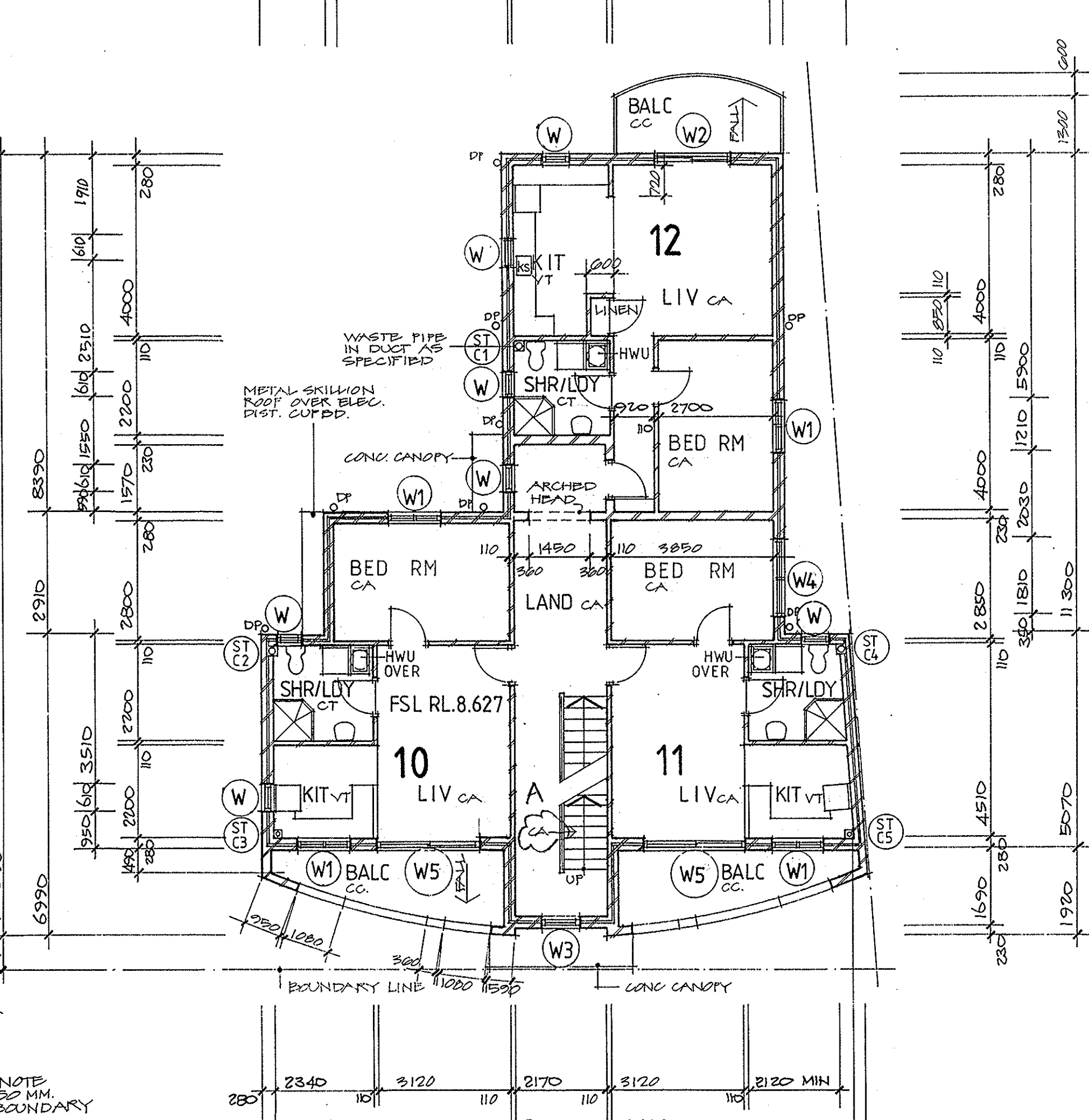
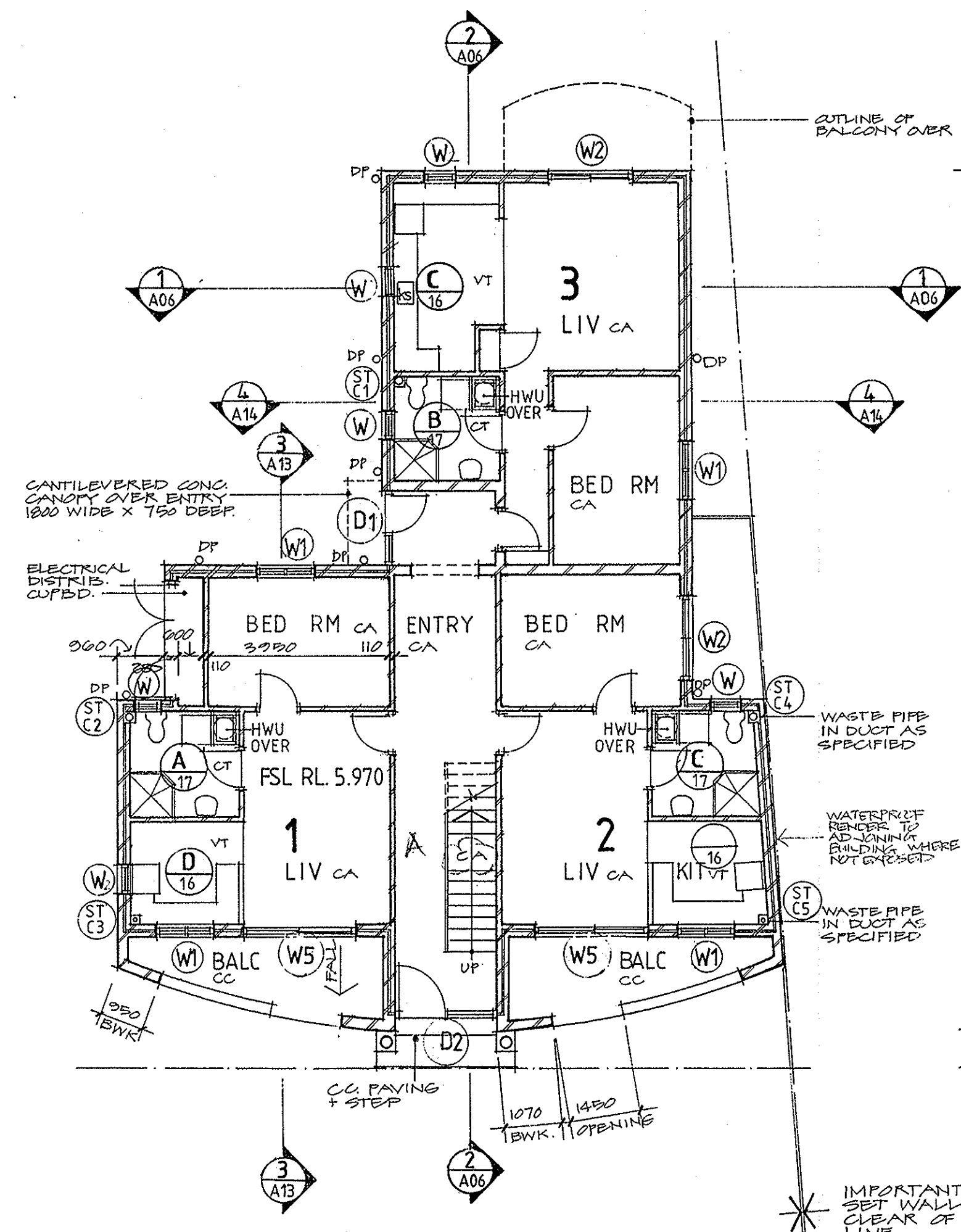
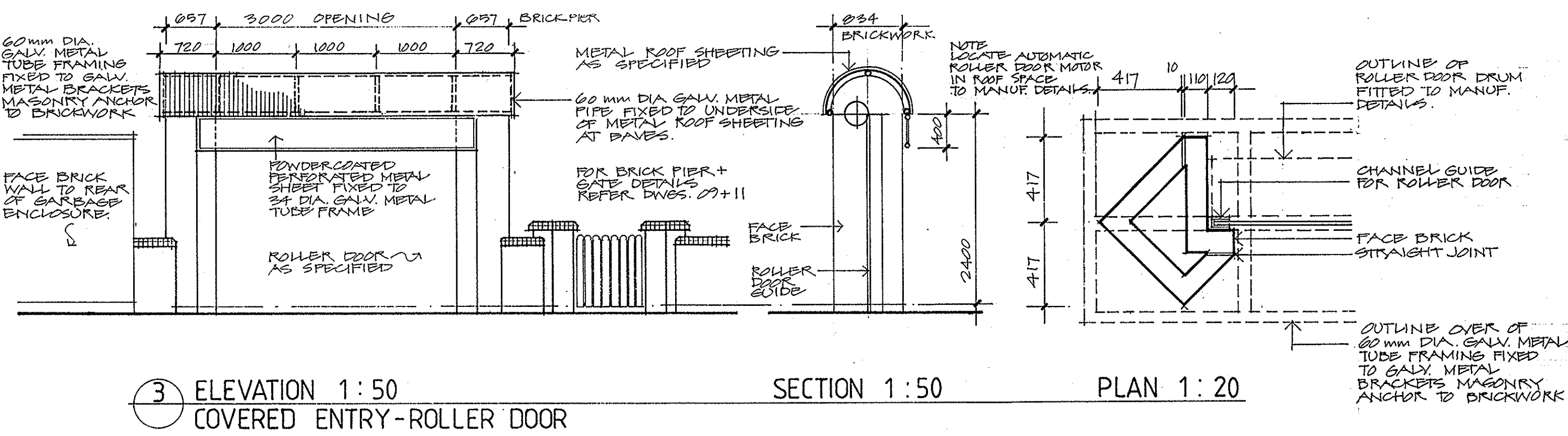
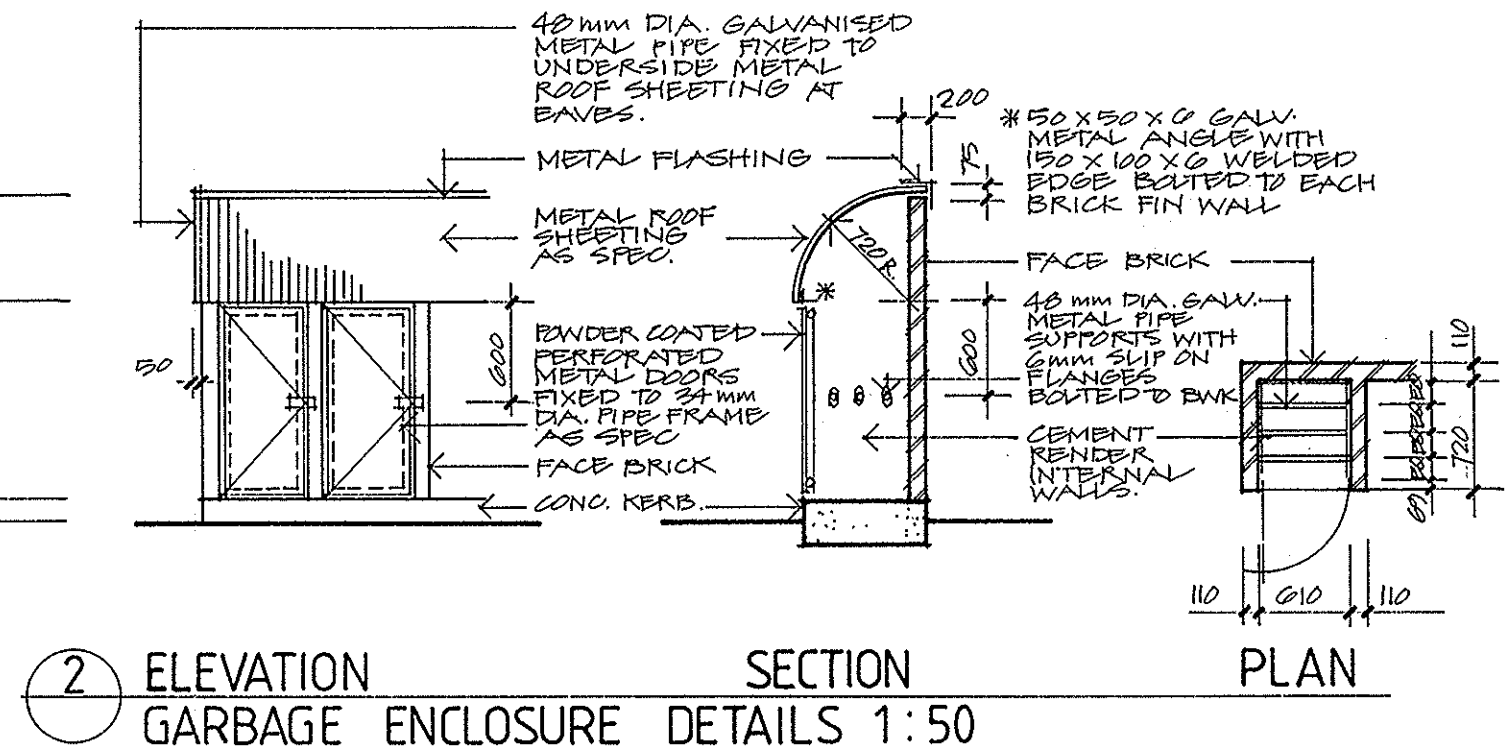
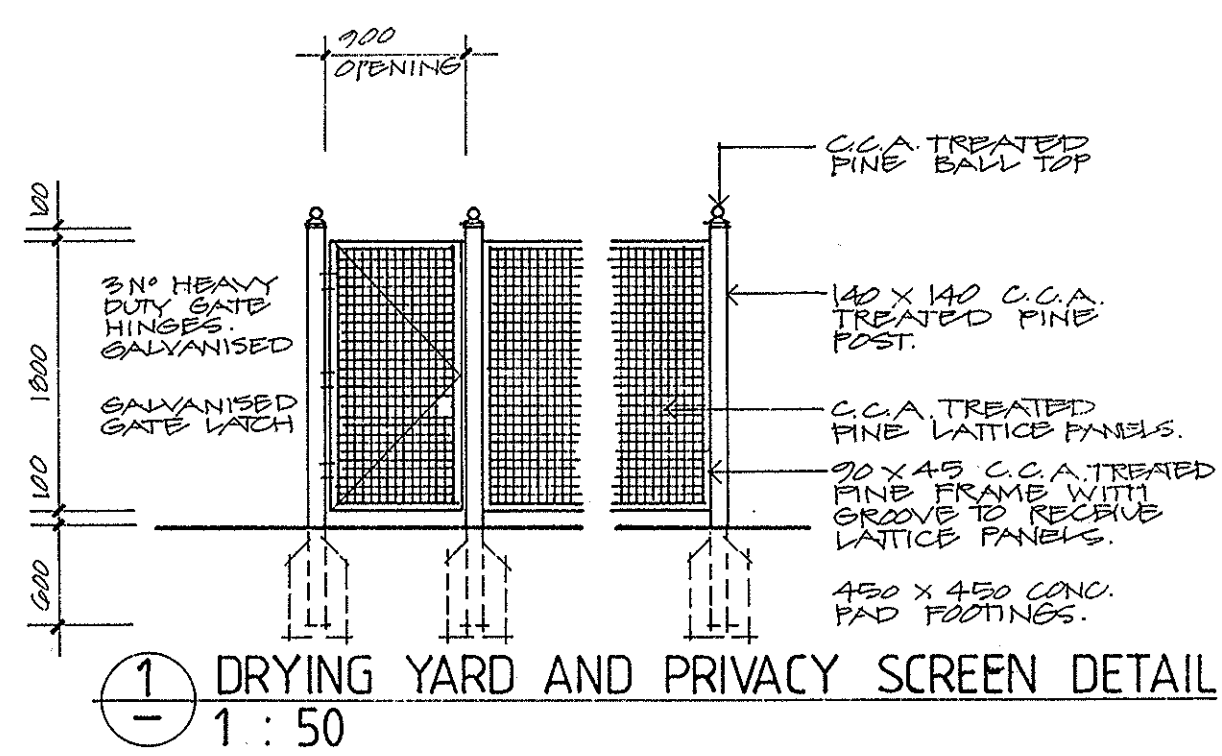
ROOF FRAMING PLAN

REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAG DYER ARCHITECTS
CHATSWOOD VILLAGE
67 MERIDAH STREET
CHATSWOOD NSW
TELEPHONE 419 7299

| | | | | | | | |
|--|--|---------|--|--------------|--|-----------------|--|
| BLOCK A & B PLANS | | NOV 91 | | SCALE: 1:100 | | DRAWING NO: A02 | |
| ROOF FRAMING PLAN, DOOR SILL DETAILS | | 4/12/91 | | DATE | | DRAWING NO | |
| APPROVAL FROM BLOCK A AND B TO EXISTING AND COMMON ROOM ARCHITECTS | | 5/12/91 | | DATE | | DRAWING NO | |
| DRAWING | | RE | | CHECKED | | ISSUED | |

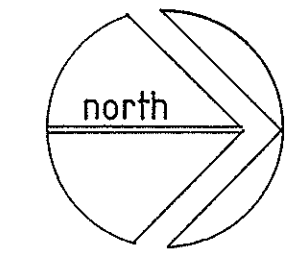
FOURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



FINISHES KEYS

| | |
|----|----------------------|
| CT | CERAMIC TILES |
| CA | VINYL TILES |
| TT | TERRACOTTA TILES |
| M | METRE BOX |
| CP | CONCRETE PAVERS |
| WF | WOOD FLOAT CONC |
| FB | FACE BRICKWORK |
| CM | CEMENT RENDER |
| PB | PLASTERBOARD |
| SP | SET PLASTER |
| FC | FIBRE CEMENT |
| FR | FEATURE BRICKWORK |
| CR | CONC ROOF TILES |
| T | TELECOM DISTRIBUTION |
| CC | COLOURED CONC |
| OC | OFF FORM CONC |
| CJ | CONTROL JOINT |
| VP | VENT PIPE |

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT



PROJECT:
REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
27 NERINDAH STREET
CHATSWOOD 2067
TELEPHONE 419 7259

Manholes added
15/4/91
DATE TO

DRAWING:
BLOCK C PLANS

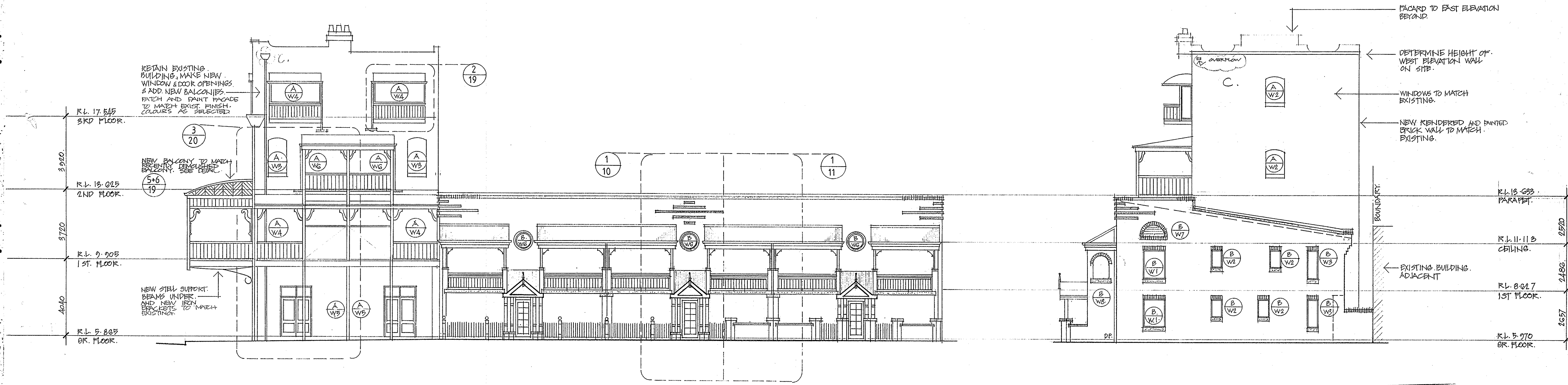
NOV. 91
SCALE: 1:100
ISSUE NO: A. A03

FOUR DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



SOUTH ELEVATION

EAST ELEVATION



NORTH ELEVATION

WEST ELEVATION

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

NOTE: BRICK UP ALL EXISTING OPENINGS NOT REQUIRED OR TO SUIT NEW OPENINGS

PROJECT
REHABILITATION AND INFILL HOUSING
 61-63 PITTWATER RD
 MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
 CHATSWOOD VILLAGE
 7 MERIDAH STREET
 CHATSWOOD 2047
 TELEPHONE 419 7299

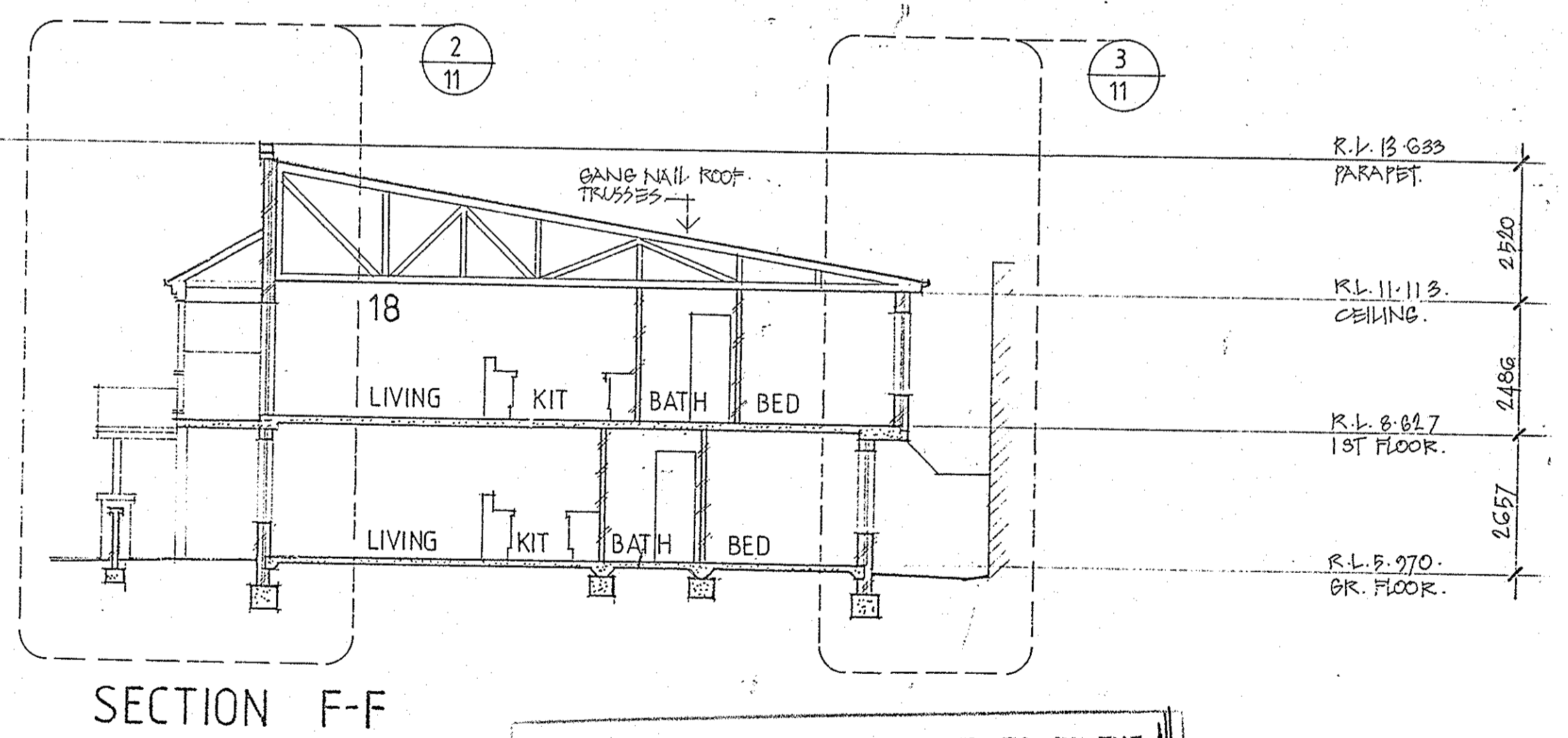
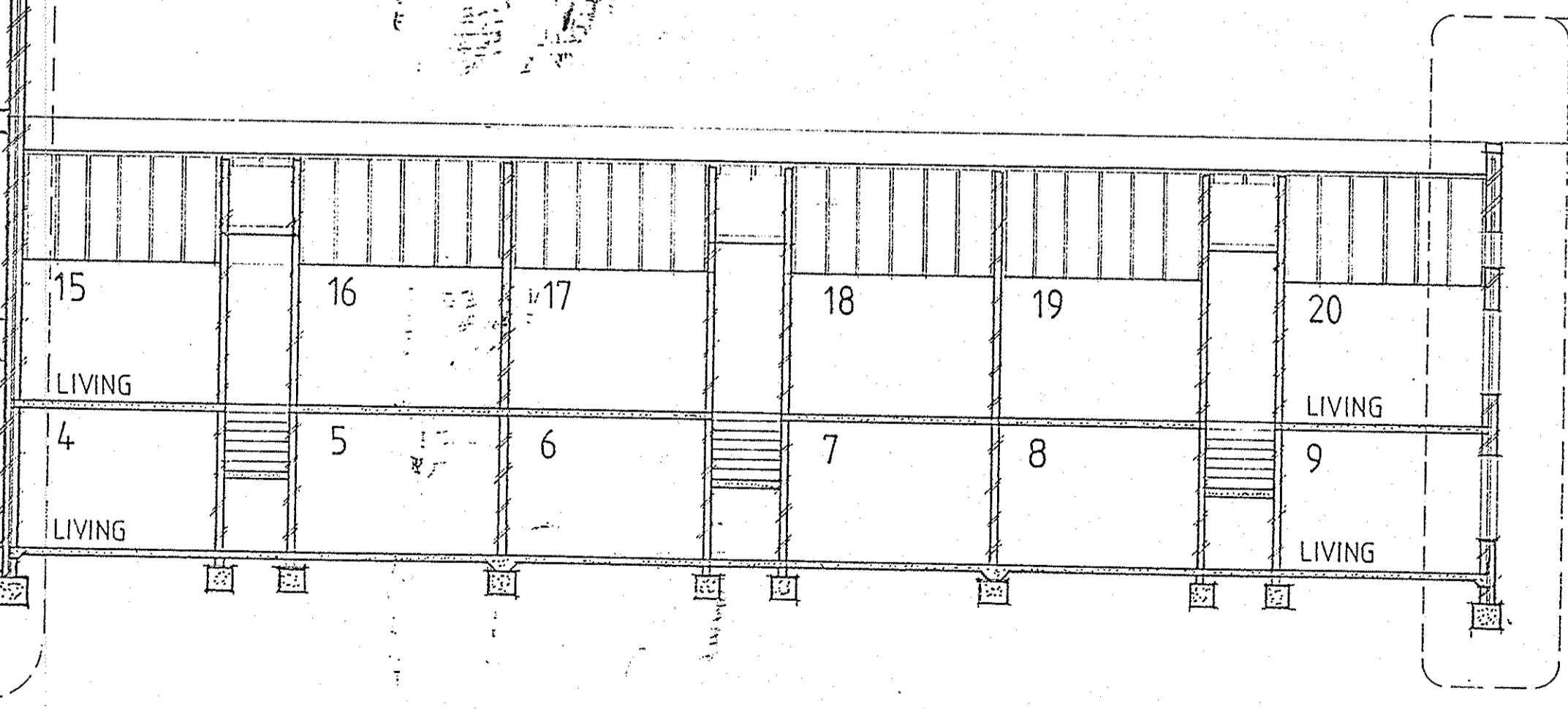
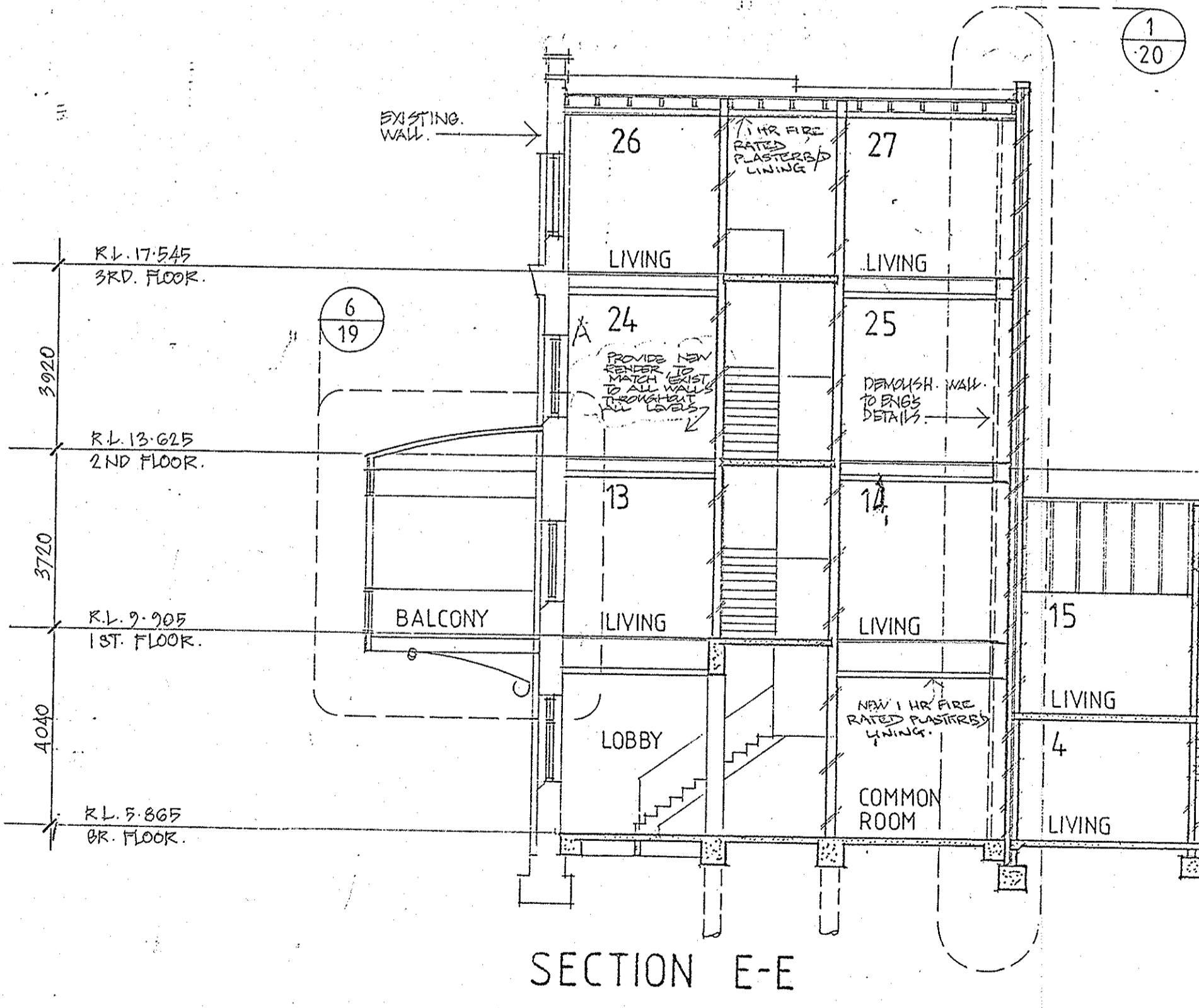
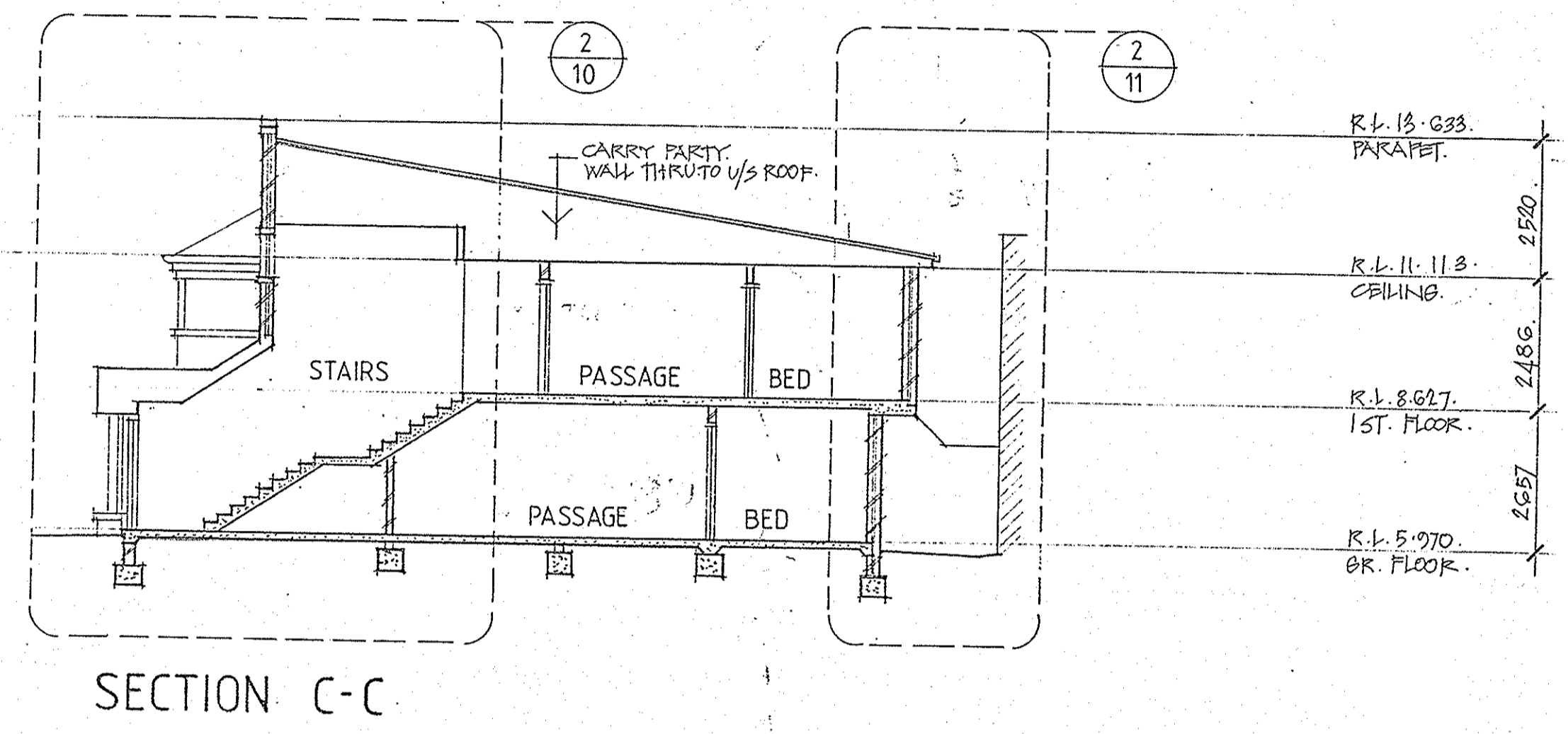
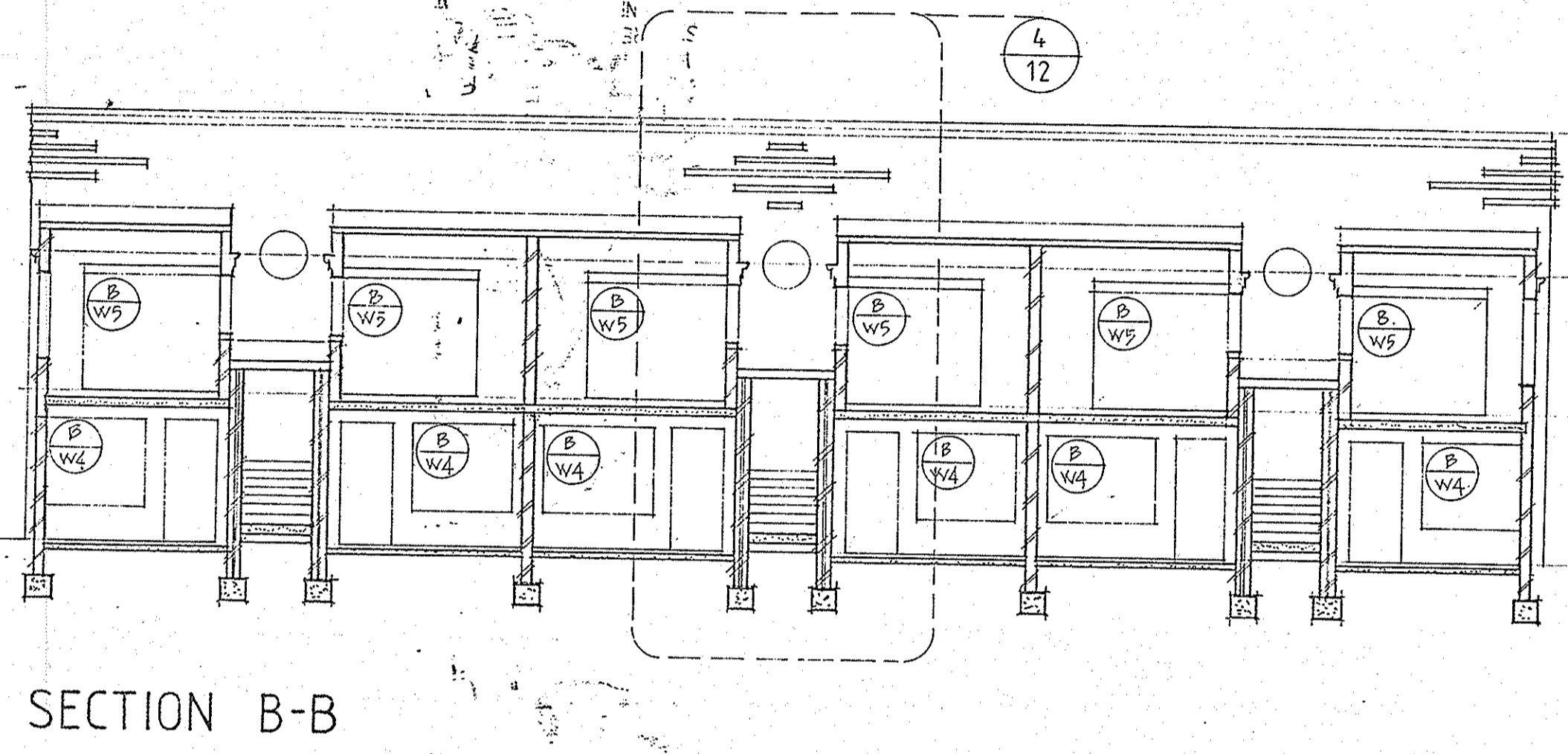
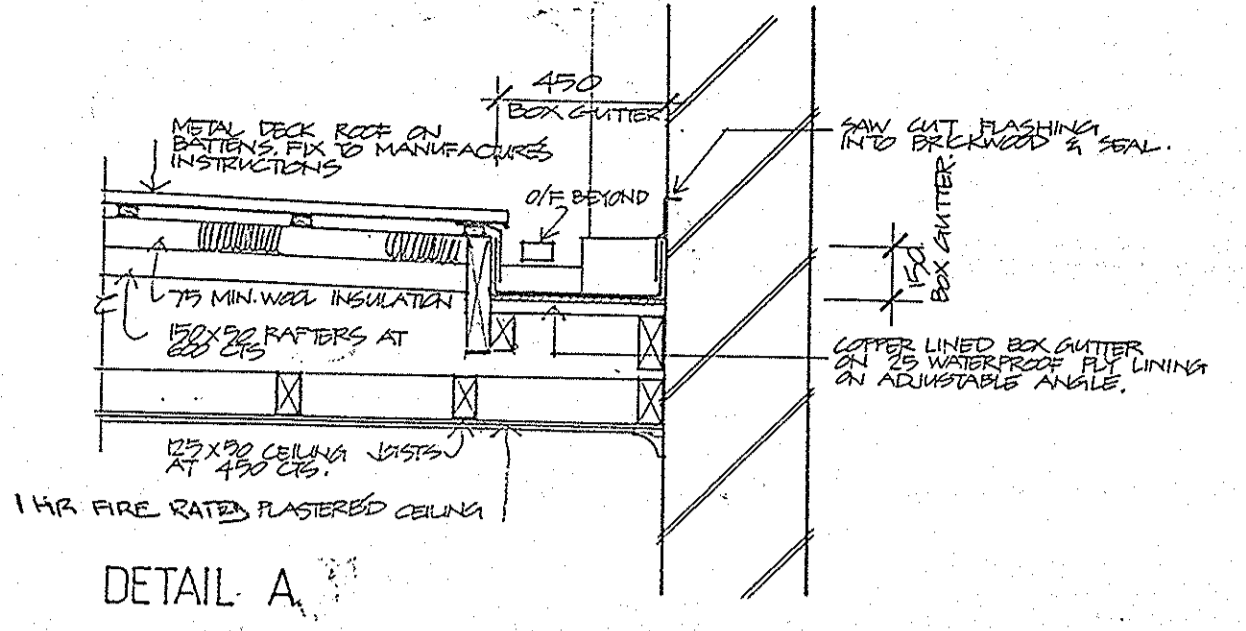
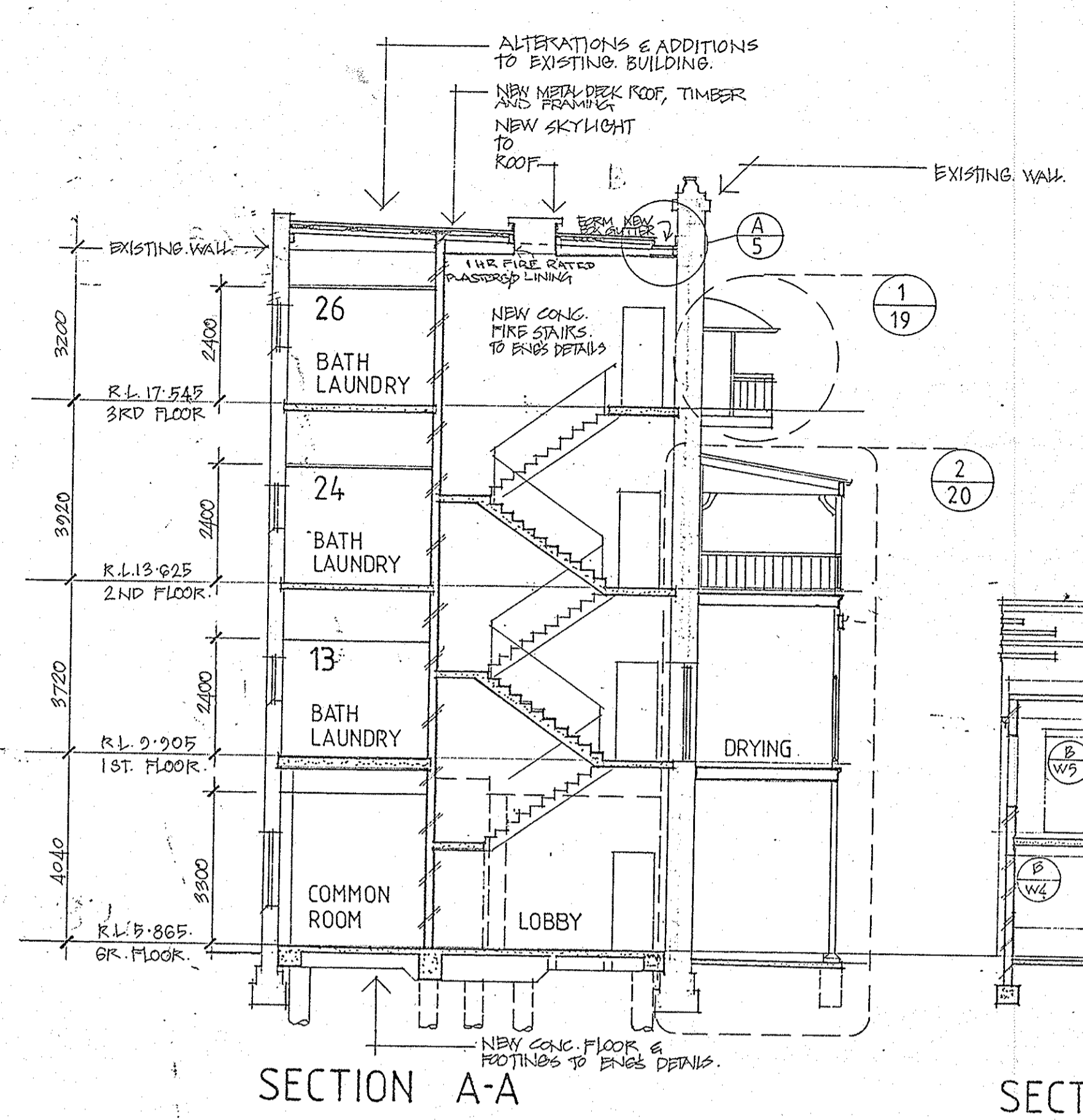
DATE: 14/12/11
 15/11/11
 2/3/12

ISSUE NO. AMENDMENT DATE TO

DRAWING: **BLOCK A & B ELEVATIONS**

SCALE: 1:100
 DRAWING NO. **A04**

PLotted DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



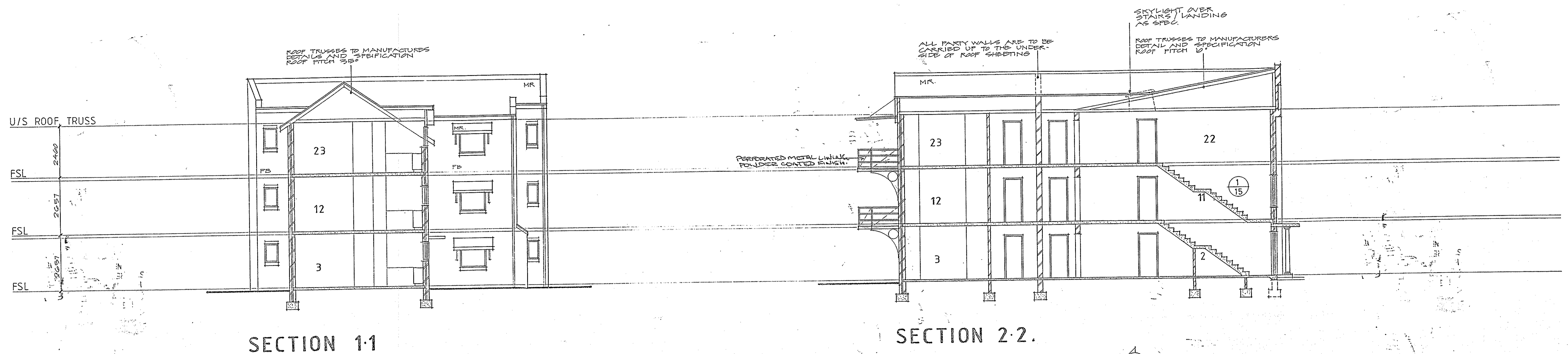
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 NERIDA STREET
CHATSWOOD 2067
TELEPHONE 419 2284

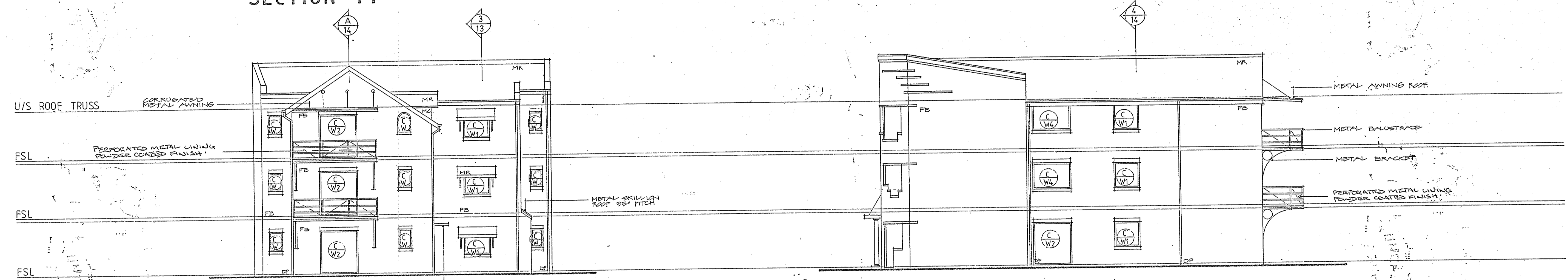
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| PROJECT | REHABILITATION AND INFILL HOUSING | DATE | NOV 91 | SCALE | 1:100 | DRAWING NO. | A05 |
| CLIENT | DEPARTMENT OF HOUSING | CHECKED | [Signature] | ISSUE NO. | 1 | | |
| DESIGNER | INNOVAC DYER ARCHITECTS | DATE | 15/11/91 | | | | |
| AMENDMENT | A. Render to Exist. Walls. | DATE | 15/11/91 | | | | |
| | B. Detail 'A' added. New roof framing to Block A. | DATE | 16/12/91 | | | | |

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



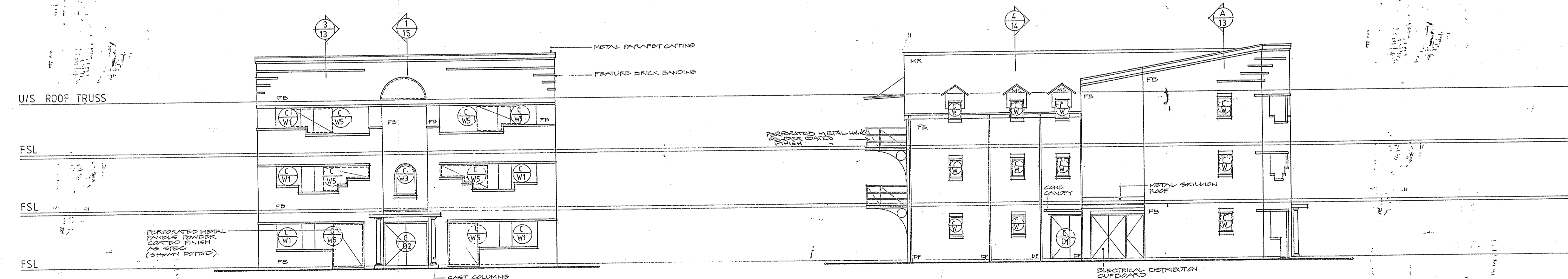
SECTION 1-1

SECTION 2-2



WEST ELEVATION

NORTH ELEVATION



EAST ELEVATION

SOUTH ELEVATION

- FINISHES KEY
- CT CERAMIC TILES
 - VT VINYL TILES
 - CA CARPET
 - ST STEEL TROWELLED CONC.
 - TT TERRACOTT TILES
 - CP CONCRETE PAVERS
 - WF WOOD FLOAT CONC.
 - FB FACE BRICKWORK
 - CM CEMENT RENDER
 - PB PLASTERBOARD
 - SP SET PLASTER
 - FC FIBRE CEMENT
 - FE FEATURE BRICKWORK
 - CR CONC ROOF TILES
 - CC COLOURED CONCRETE
 - OC OFF FORM CONC.
 - CJ CONTROL JOINT
 - MR METAL ROOF SHEETING
 - MC METAL CLADDING

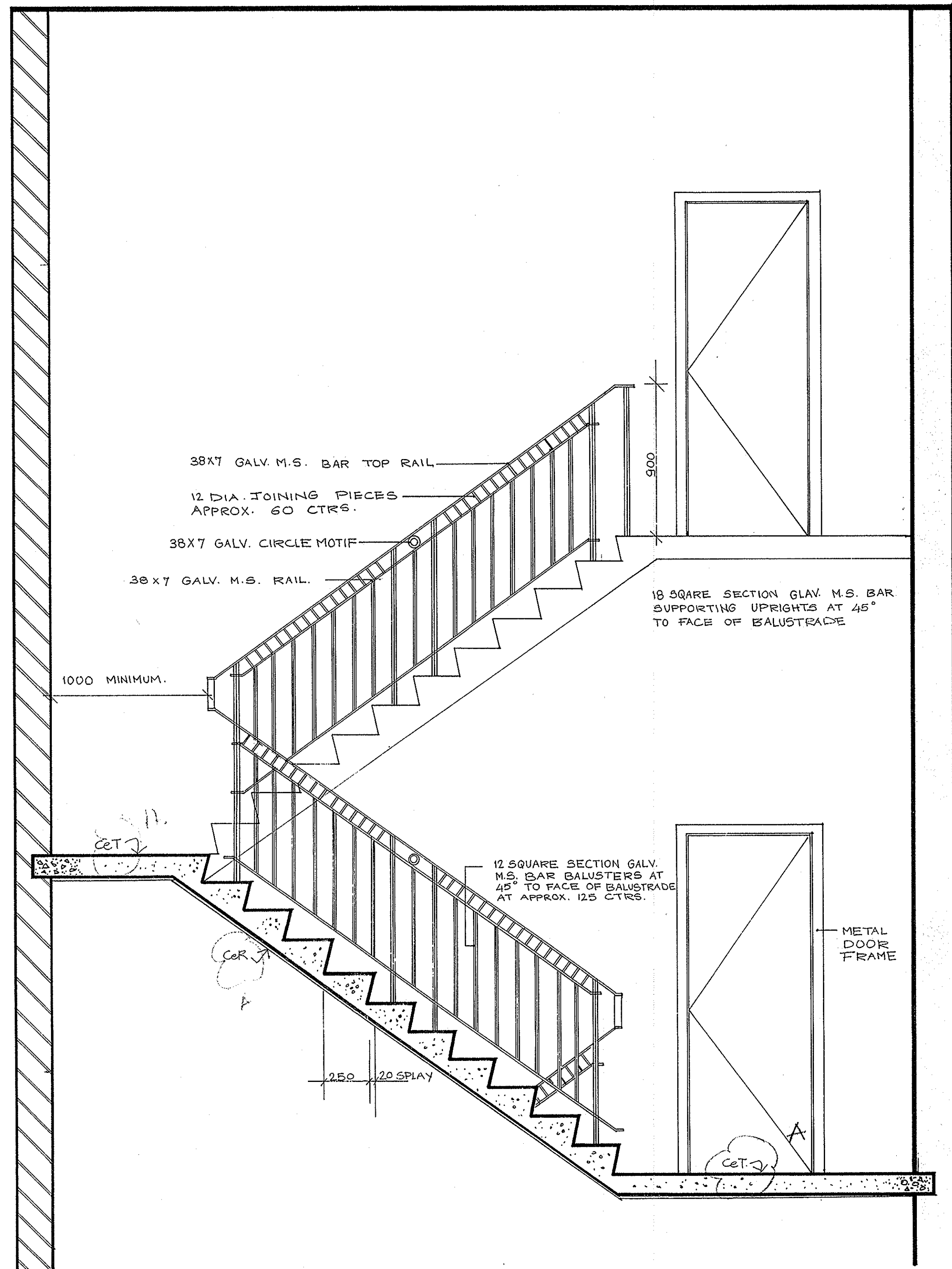
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
27 HERIQUAH STREET
CHATSWOOD 2067
TELEPHONE 419 7299

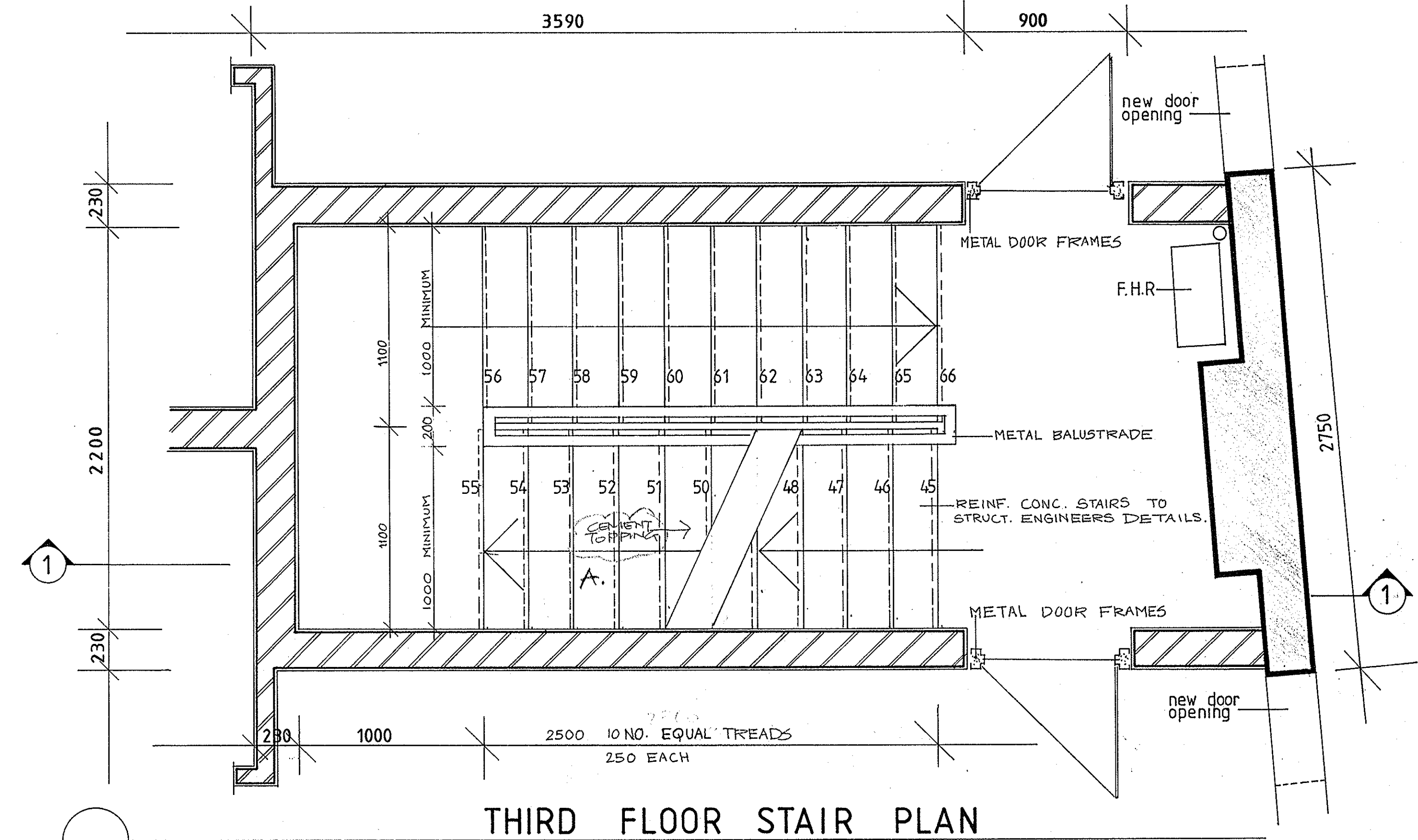
BLOCK C ELEVATIONS & SECTIONS

NOV 91
SCALE: 1:100

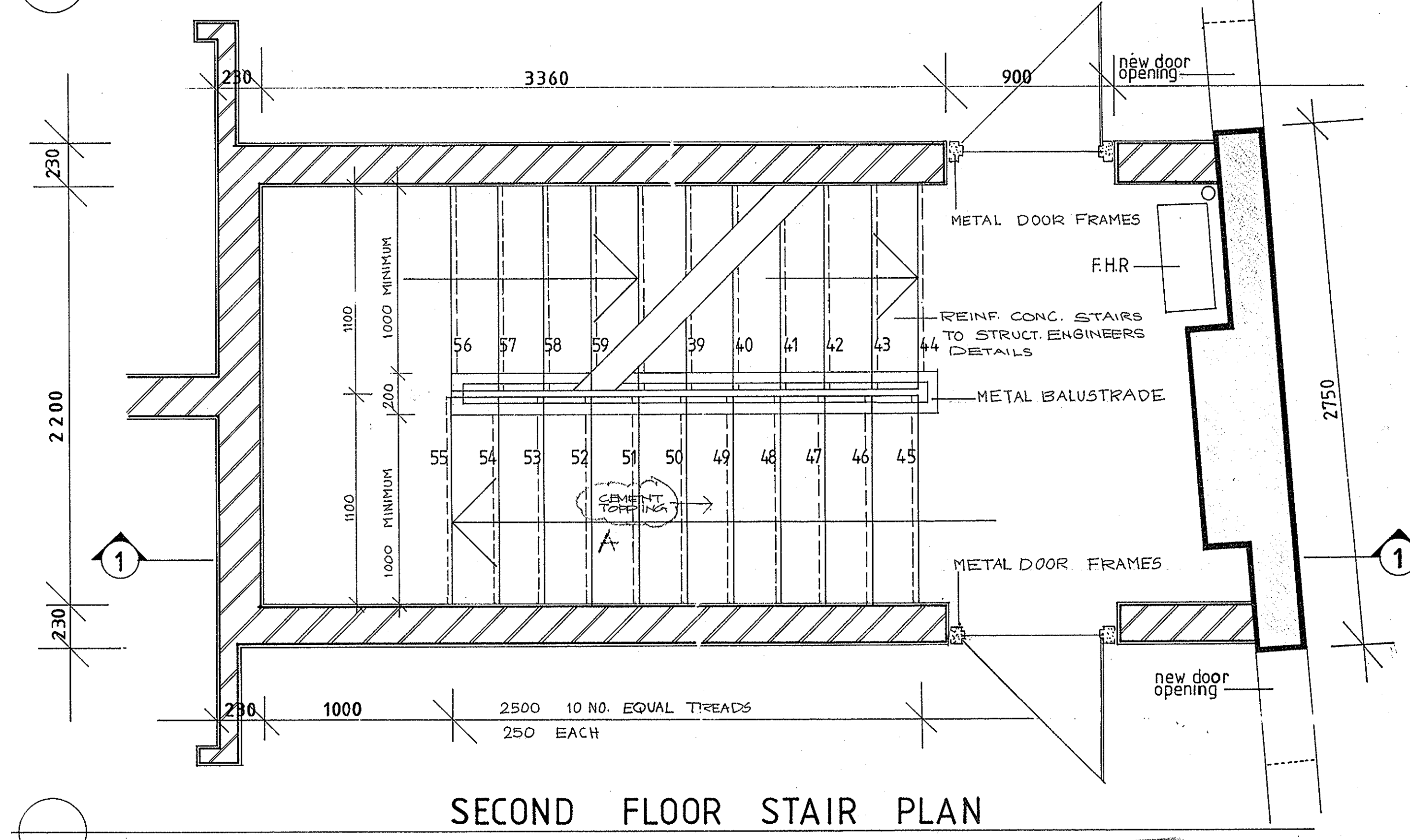


SECOND & THIRD FLOOR SECTION 1-1

3250 OVERALL FLOOR TO FLOOR
 3920 OVERALL FLOOR TO FLOOR
 22 NO OF RISERS



THIRD FLOOR STAIR PLAN



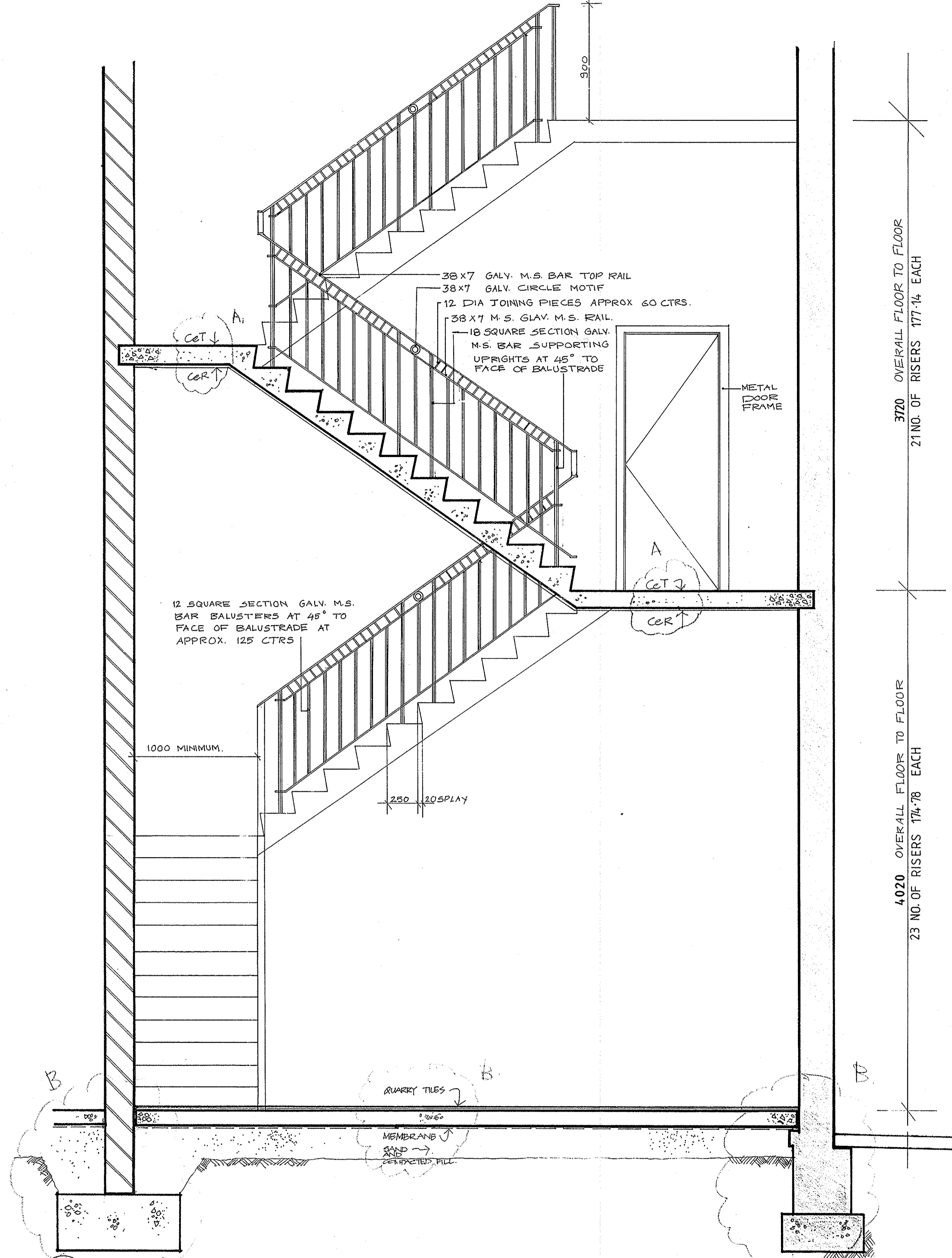
SECOND FLOOR STAIR PLAN

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

PROJECT:
 REHABILITATION AND INFILL HOUSING
 61-63 PITTWATER RD
 MANLY FOR THE
 DEPARTMENT OF HOUSING

INNOVAC
 DYER
 ARCHITECTS
 CHATSWOOD VILLAGE
 47 MERRIDAY STREET
 CHATSWOOD 2067
 TELEPHONE 419 7289

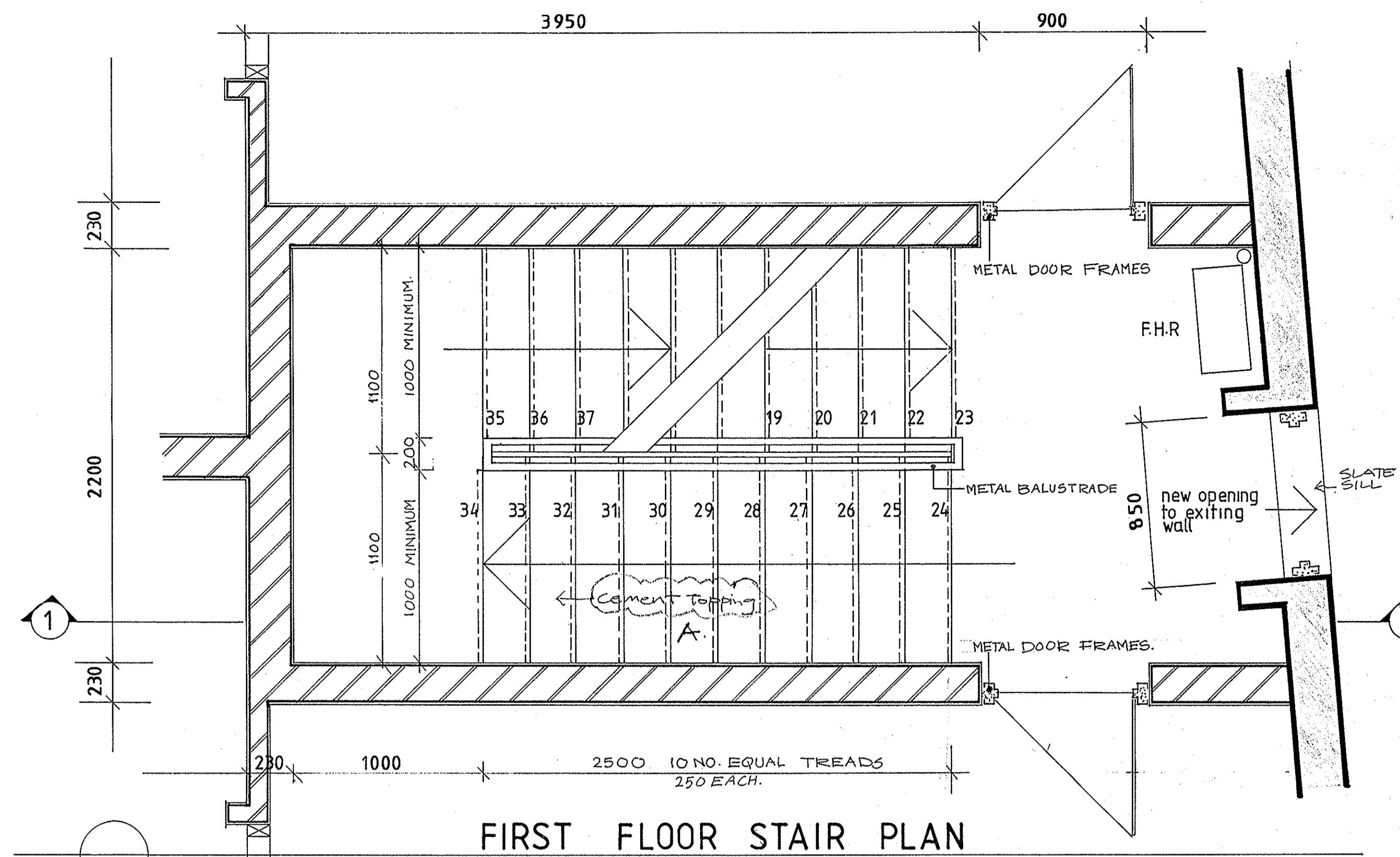
ISSUE NO. 15/6/92
 AMENDMENT TO
 BLOCK A
 STAIR DETAILS
 DRAWING NO. A07
 DATE 15/6/92
 SCALE 1:20
 DRAWN: SS
 CHECKED: [Signature]
 ALL DIMENSIONS TO BE USED IN REFERENCE TO SCALING OF DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



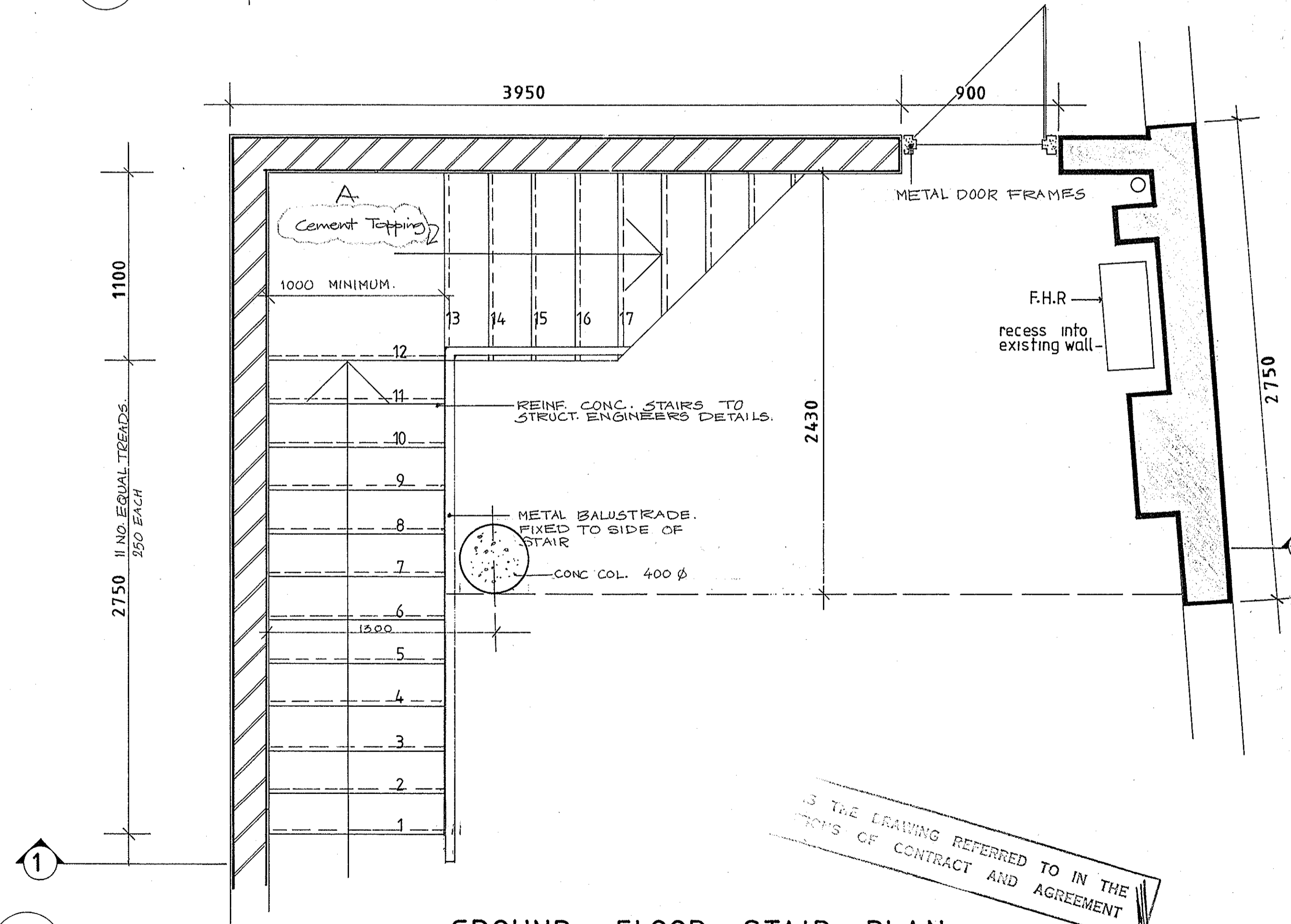
GROUND & FIRST FLOOR SECTION 1:1

3720 OVERALL FLOOR TO FLOOR
21 NO. OF RISERS 177-14 EACH

4020 OVERALL FLOOR TO FLOOR
23 NO. OF RISERS 174-78 EACH



FIRST FLOOR STAIR PLAN



GROUND FLOOR STAIR PLAN

IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT

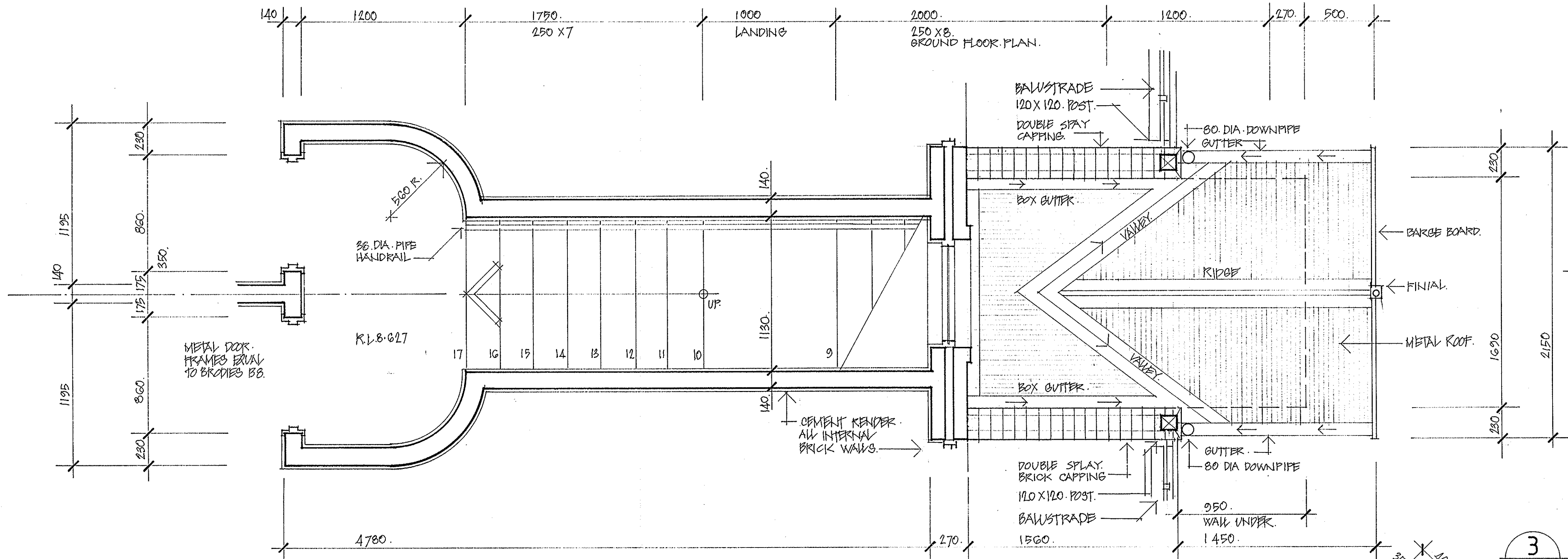
PROJECT:
REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 NERIBAH STREET
CHATSWOOD 2067
TELEPHONE 419 7288

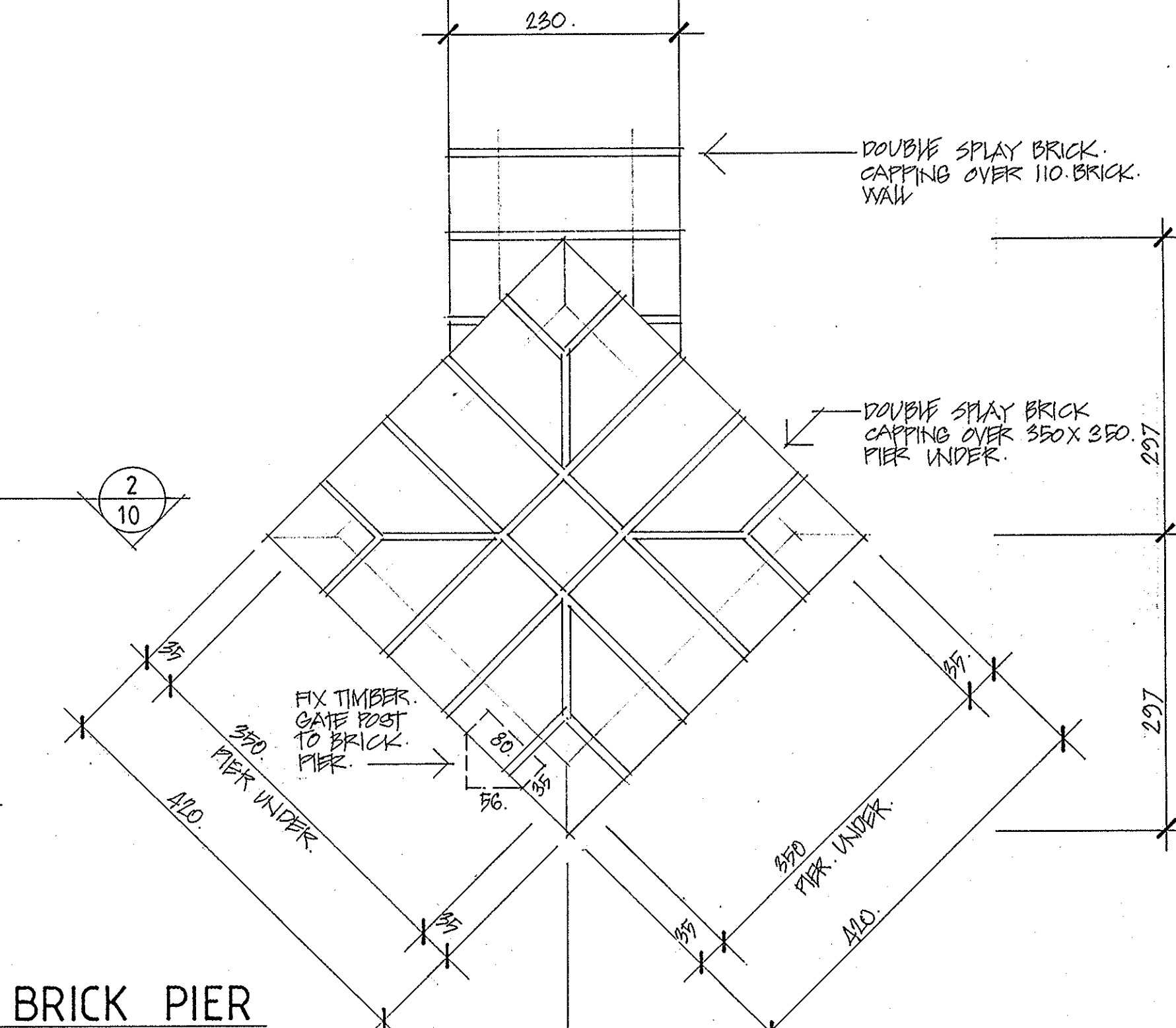
ISSUE NO: 25108/001/010203
DATE: NOV 91
SCALE: 1:20
DRAWING NO: A08

PROJECT: REHABILITATION AND INFILL HOUSING
DATE: 16/12/92
ISSUE NO: 2
DATE: 15/6/91

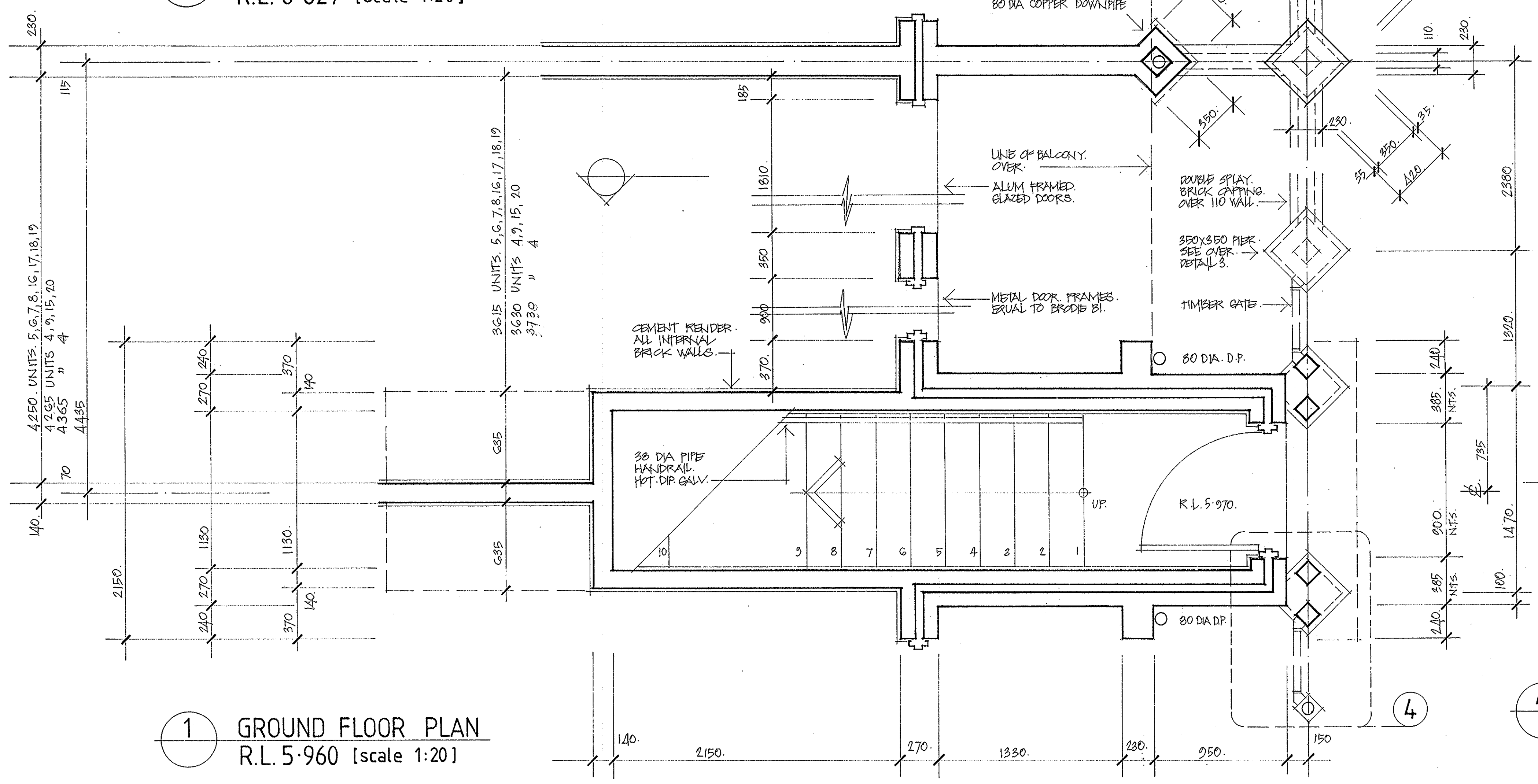
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK



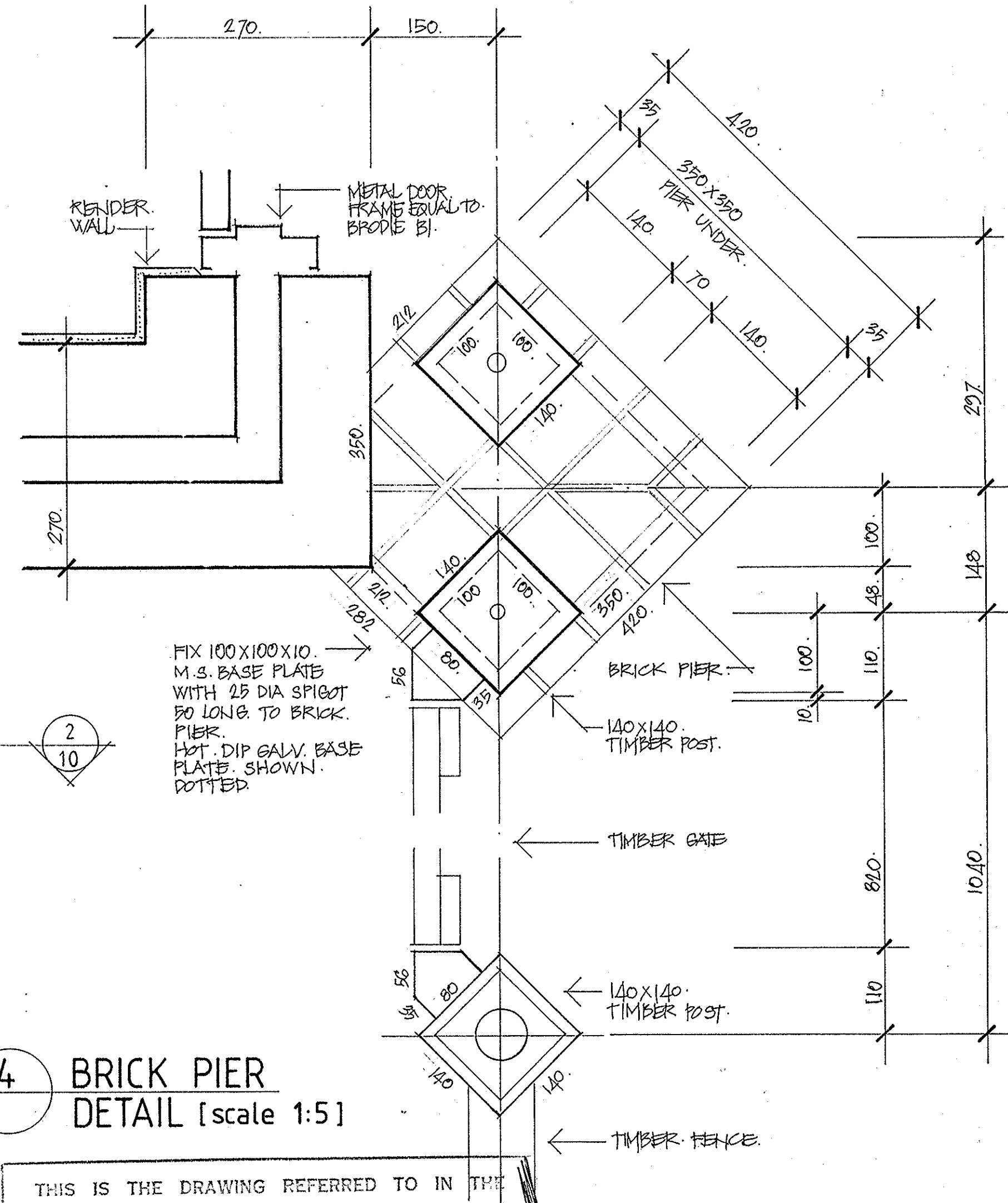
2 FIRST FLOOR PLAN
R.L. 8-627 [scale 1:20]



3 BRICK PIER
DETAIL [scale 1:5]



1 GROUND FLOOR PLAN
R.L. 5-960 [scale 1:20]



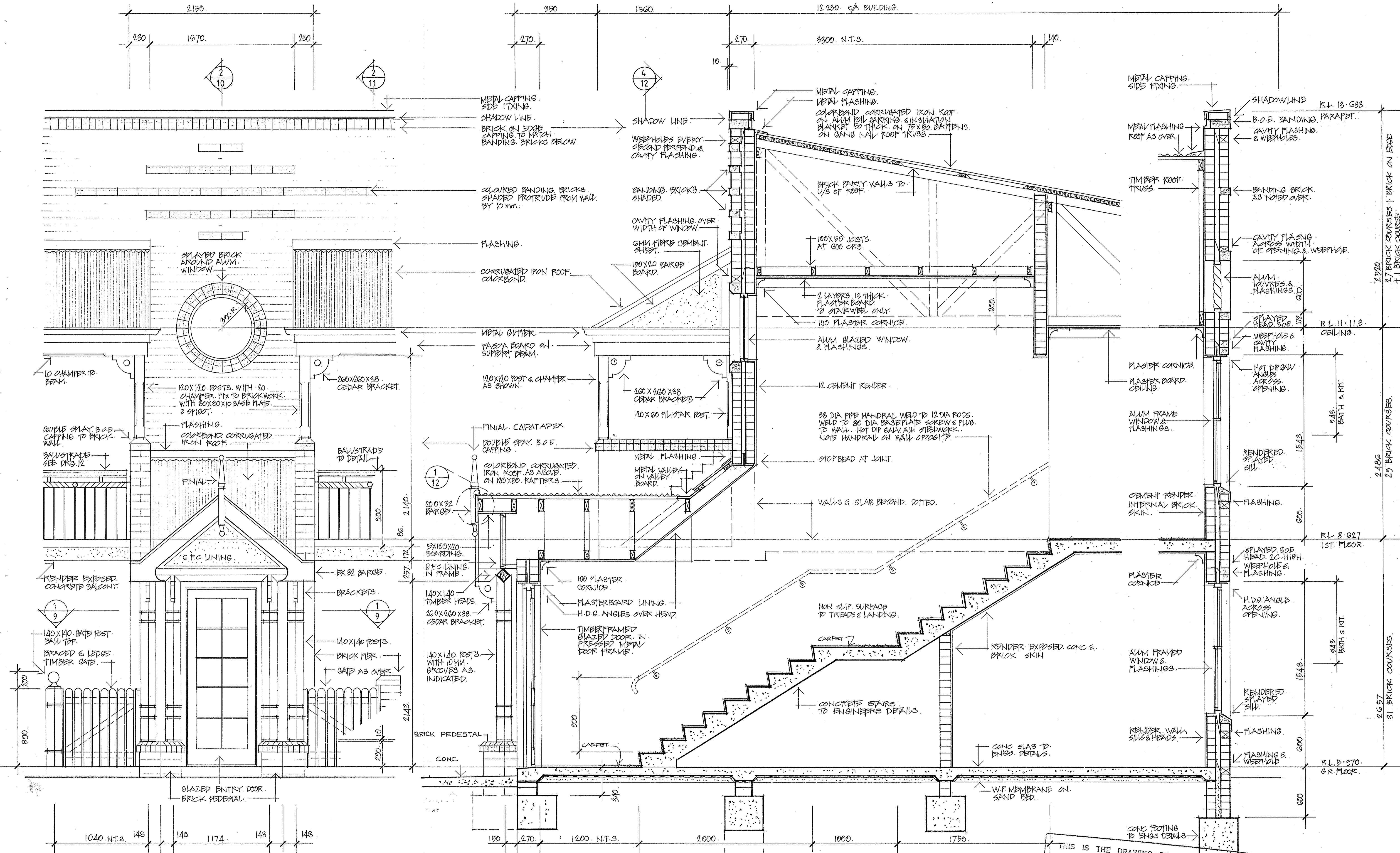
4 BRICK PIER
DETAIL [scale 1:5]

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

PROJECT
REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC
DYER
ARCHITECTS
CHATSWOOD VILLAGE
47 NEWBORN STREET
CHATSWOOD 2067
TELEPHONE 419 7299

ISSUE NO. AMENDMENT DATE TO
DRAWING
BLOCK B
STAIRS & ENTRY
25108/00/010203 NOV. 91 SCALE: 1:20, 1:5 DRAWING NO.
RE ORDNANCE ISSUE NO. A09
PREFERRED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK



1 ELEVATION

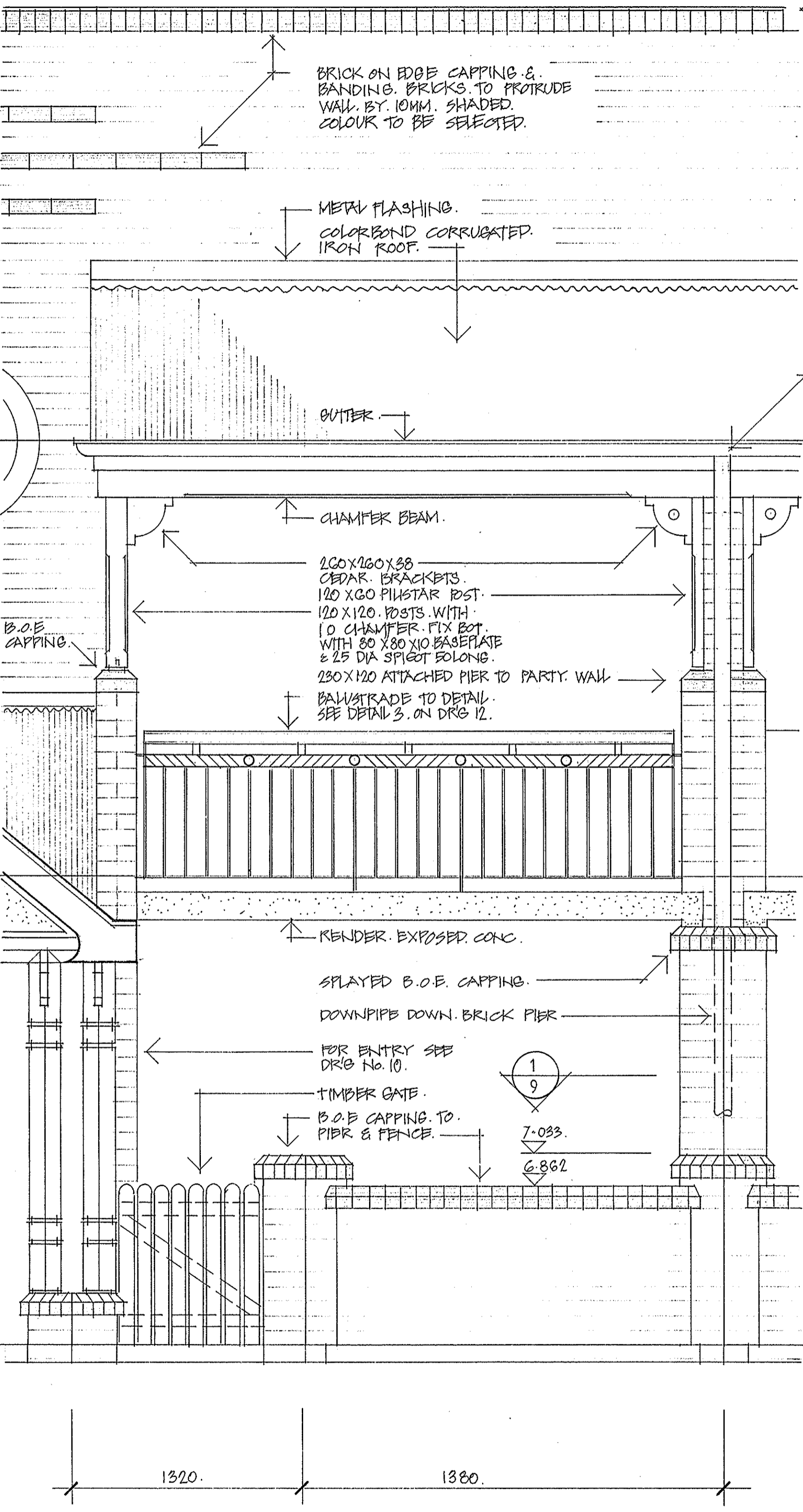
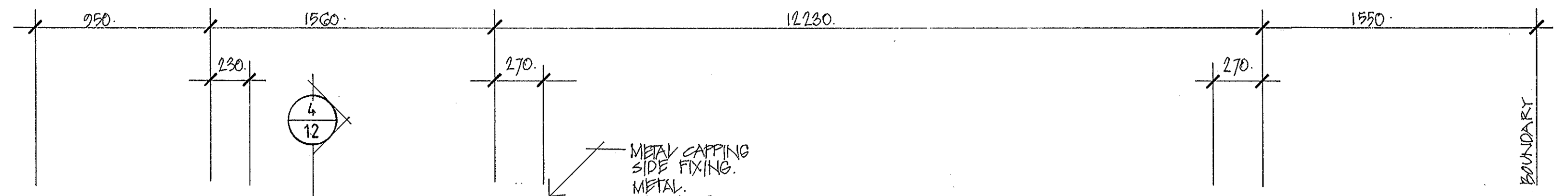
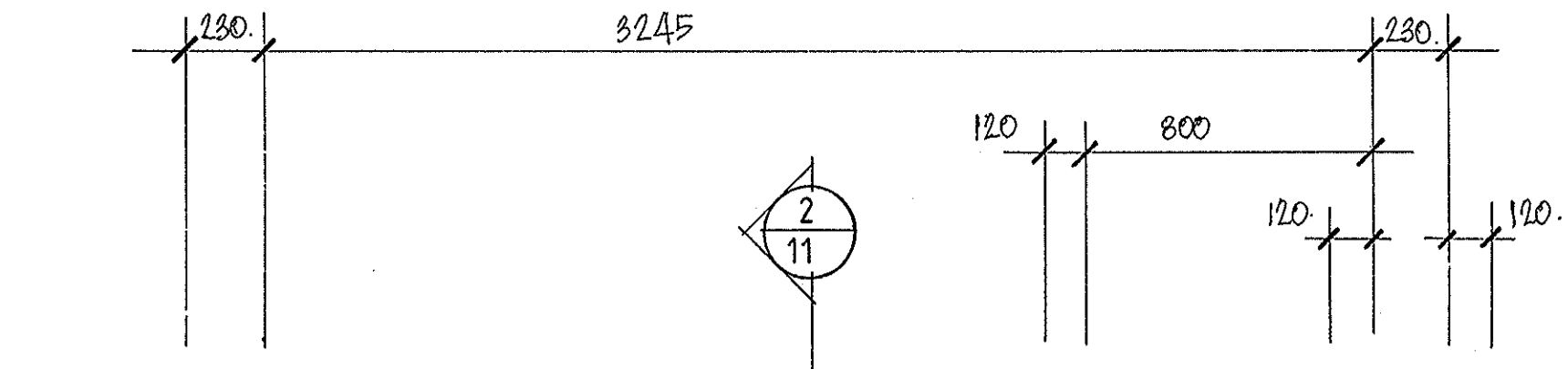
2 SECTION

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

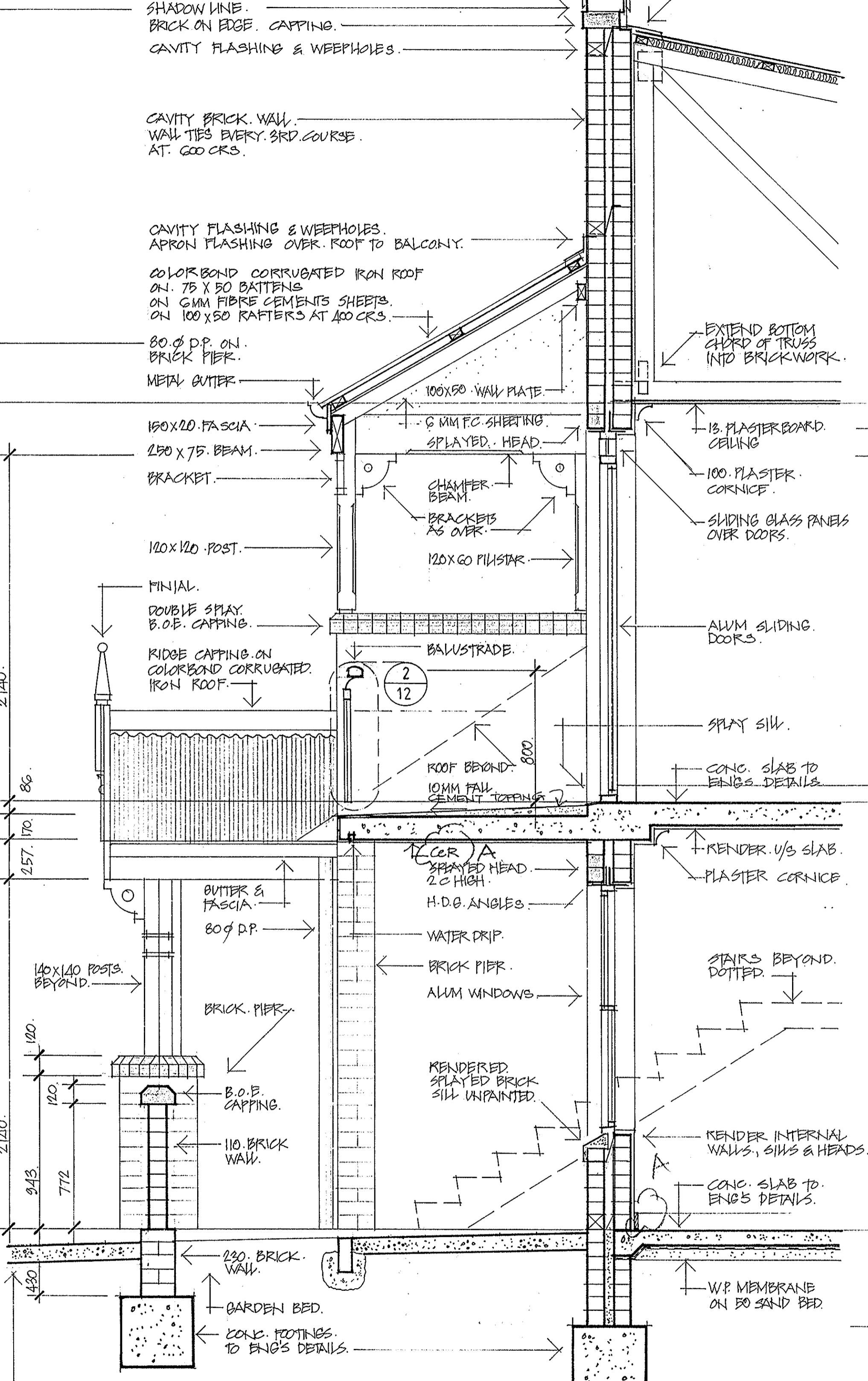
REHABILITATION AND INFILL HOUSING
 61-63 PITTWATER RD
 MANLY FOR THE
 DEPARTMENT OF HOUSING

INNOVAC DYER
 ARCHITECTS
 CHATSWOOD VILLAGE
 47 NERIHAR STREET
 CHATSWOOD 2067
 TELEPHONE 416 2259

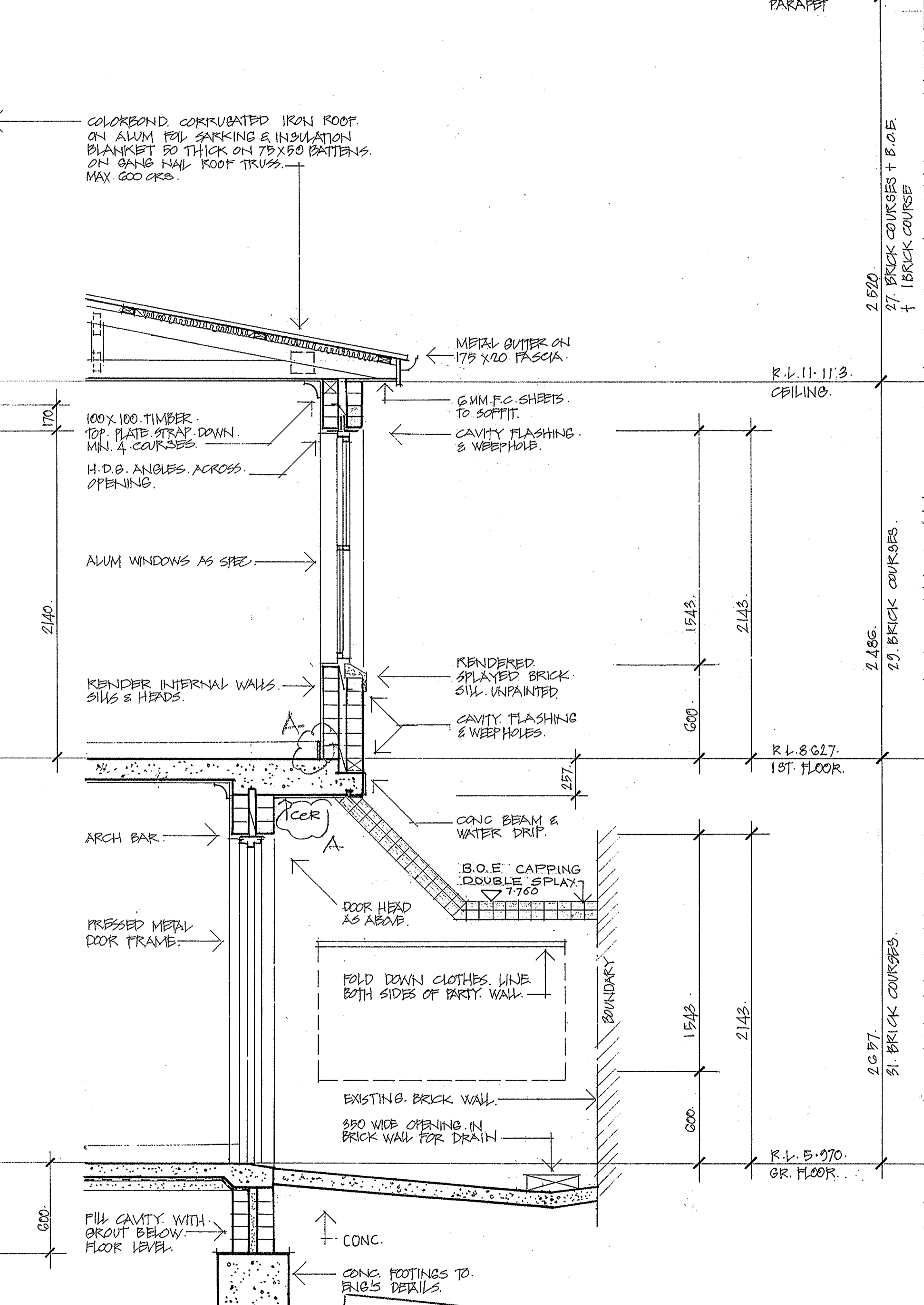
BLOCK B
 CONSTRUCTION DETAILS
 ISSUE NO. 1
 AMENDMENT
 DATE TO
 DRAWING NO.
 25108/001/010203
 NOV 91
 SCALE: 1:20
 DRAWING NO. A10
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 CHECKED: [Signature]
 ISSUE NO. 1
 ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



1 ELEVATION



2 SECTION



3 SECTION

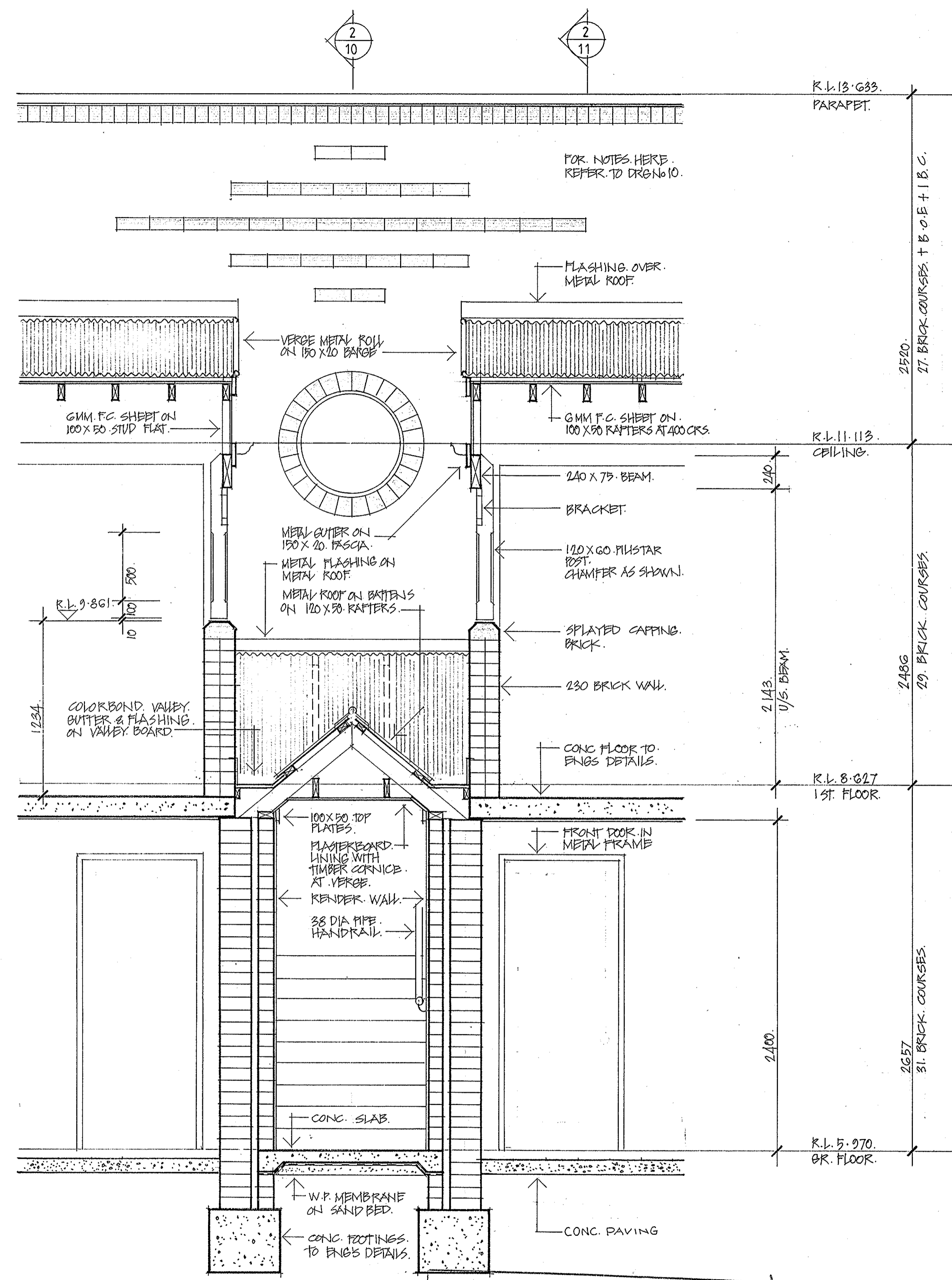
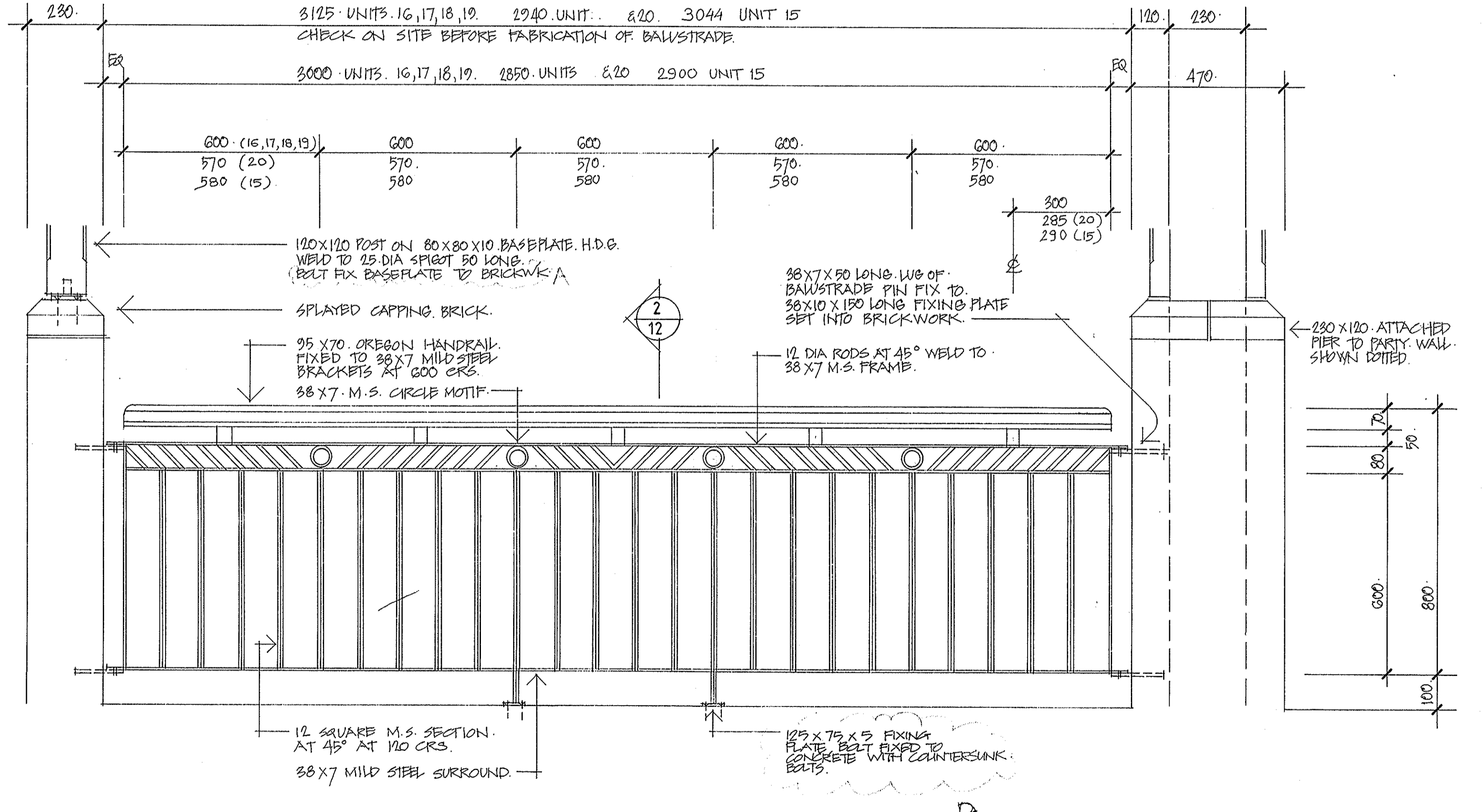
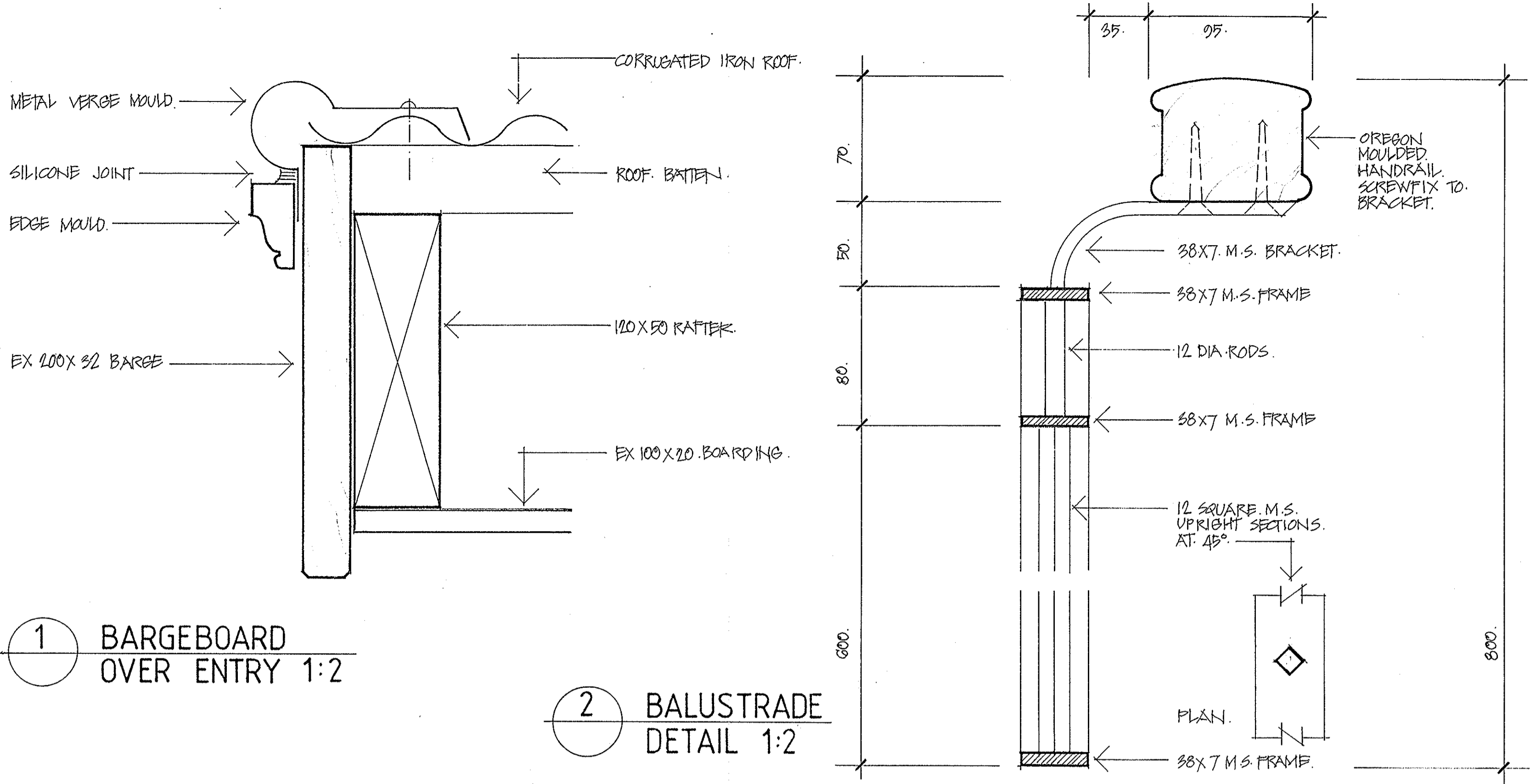
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT.

PROJECT:
REHABILITATION AND INFILL HOUSING
 61-63 PITTWATER RD
 MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
 CHATSWOOD VILLAGE
 47 NERINDAH STREET
 CHATSWOOD 2065
 TELEPHONE 419 7259

BLOCK B CONSTRUCTION DETAILS
 DATE: NOV 91
 SCALE: 1:20
 DRAWING NO: A-11
 SHEET NO: 15/42

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

4 SECTION 1:20

PROJECT
REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
37 NERIHDAH STREET
CHATSWOOD 2067
TELEPHONE 419 7289

ISSUE NO. AMENDMENT

NOTES ADDED

DATE

BLOCK B CONSTRUCTION DETAILS

DRAWING NO. **A12**

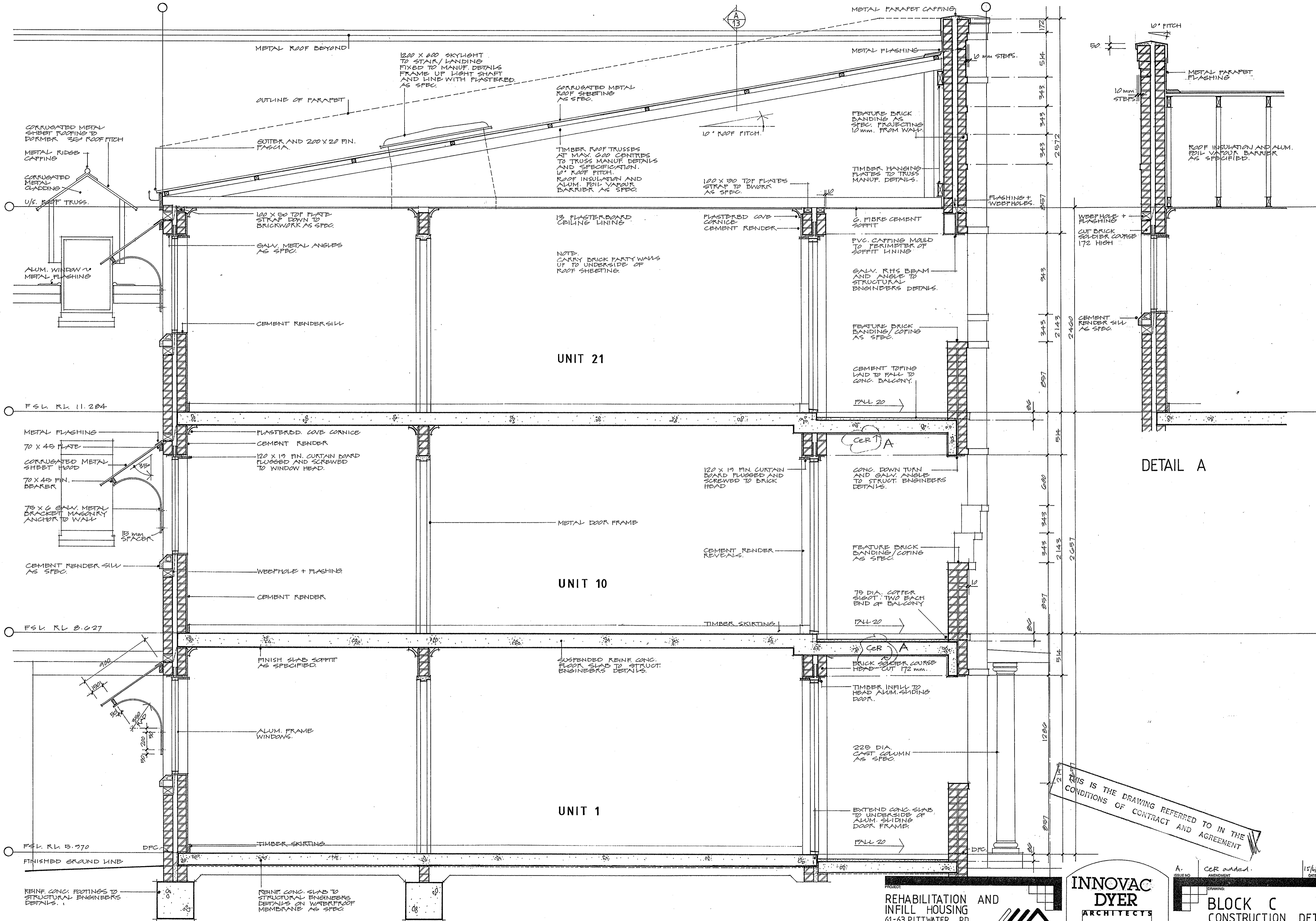
DATE **NOV 91** SCALE **AS SHOWN**

CONTRACT NO. **23102/001010203**

CHECKED BY **[Signature]** DRAWN BY **[Signature]**

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SECTION 3-3

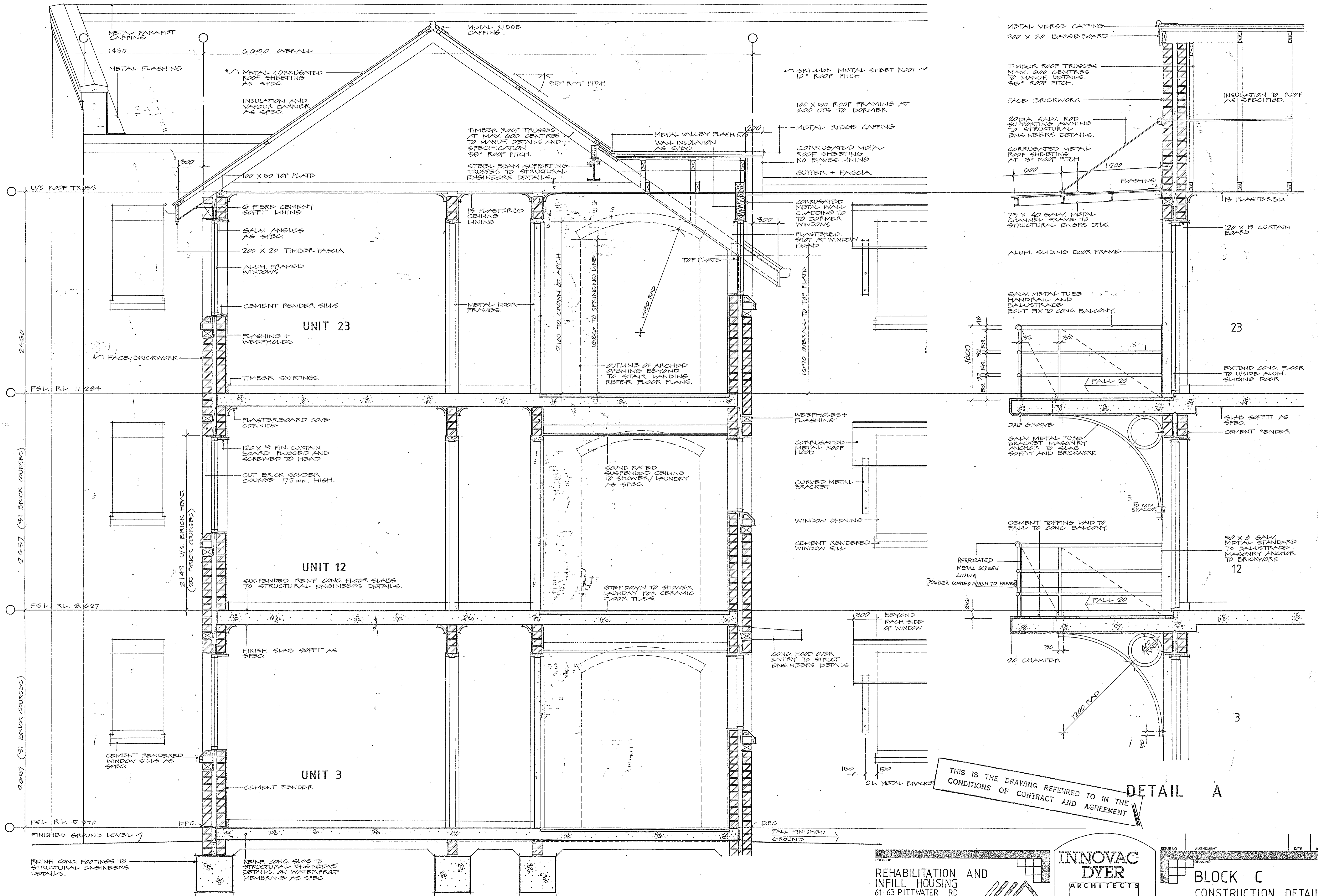
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 NERRIHAN STREET
CHATSWOOD 2067
TELEPHONE 419 7299

BLOCK C CONSTRUCTION DETAILS
SCALE: 1:20
DATE: NOV 91
ISSUE NO: A
DRAWING NO: A13

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.



SECTION 4-4

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

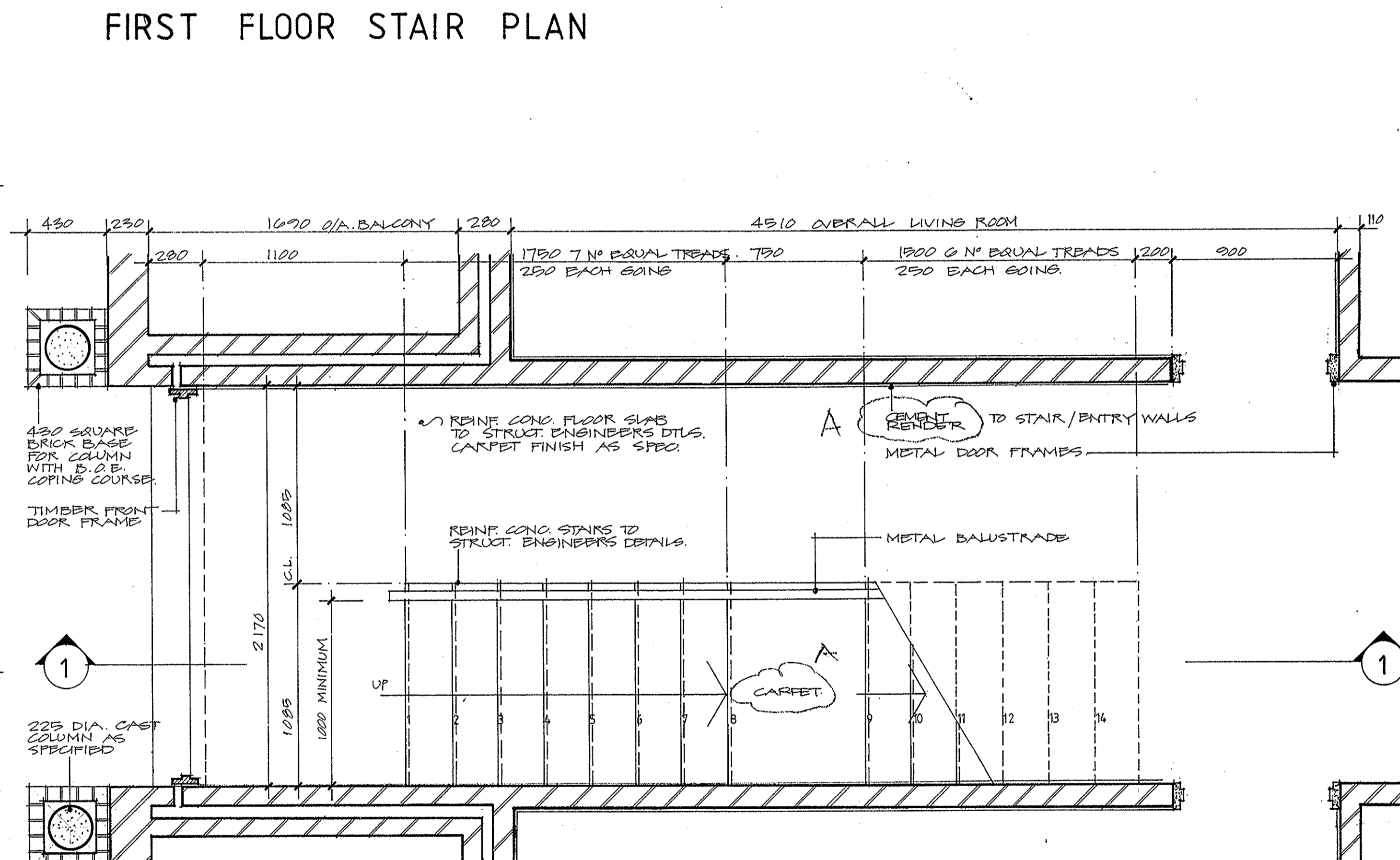
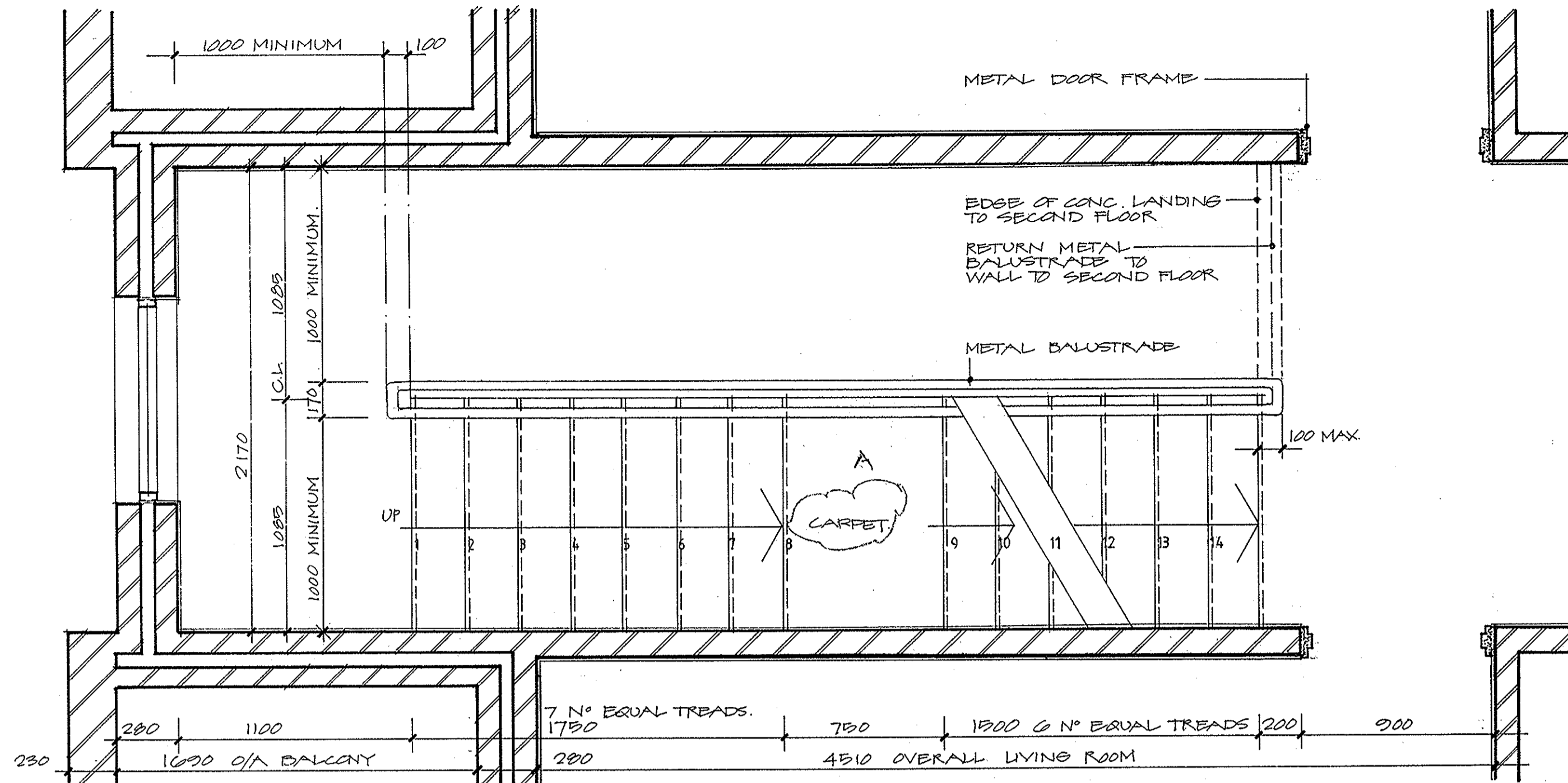
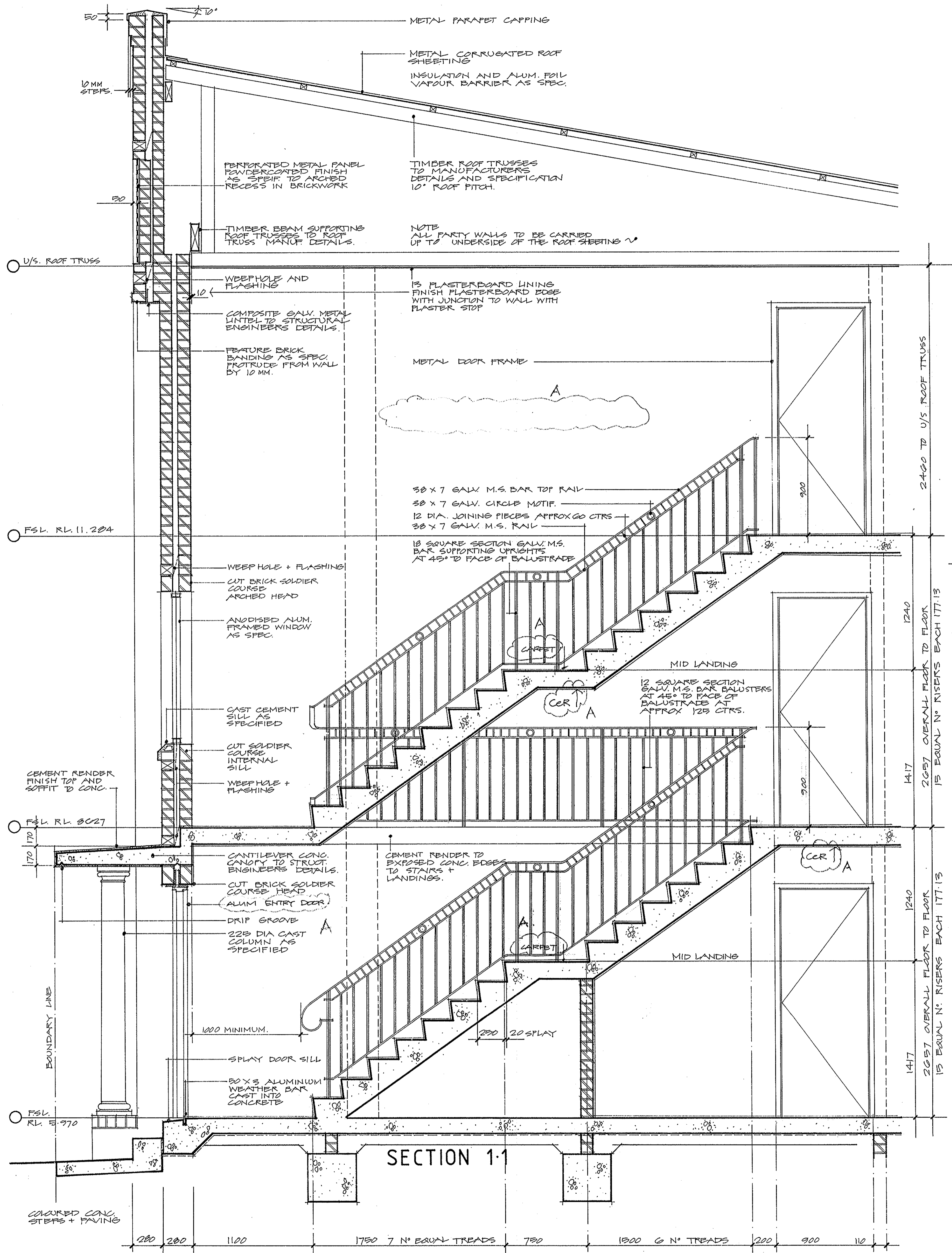
DETAIL A

REHABILITATION AND INFILL HOUSING
 61-63 PITTWATER RD
 MANLY FOR THE
 DEPARTMENT OF HOUSING

INNOVAC DYER
 ARCHITECTS
 CHATSWOOD VILLAGE
 47 NERIDA ST
 CHATSWOOD 2067
 TELEPHONE 419 7299

| | | | |
|-----------------------------------|------------|-----------|----------|
| PROJECT | DATE | SCALE | DRAWINGS |
| REHABILITATION AND INFILL HOUSING | NOV 91 | 1:20 | |
| DRAWN BY RC | CHECKED BY | ISSUE NO. | A14 |
| BLOCK C CONSTRUCTION DETAILS | | | |

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK



FINISHES KEY

- CT CERAMIC TILES
- VT VINYL TILES
- CA CARPET
- ST STEEL TROWELLED CONC.
- TT TERRACOTTA TILES
- CP CONCRETE PAVERS
- WF WOOD FLOAT CONC.
- FB FACE BRICKWORK
- CM CEMENT RENDER
- PB PLASTERBOARD
- SP SET PLASTER
- FE FIBRE CEMENT
- FE FEATURE BRICKWORK
- CR CONC. ROOF TILES
- CC COLOURED CONCRETE
- DC OFF FORM CONCRETE
- CJ CONTROL JOINT

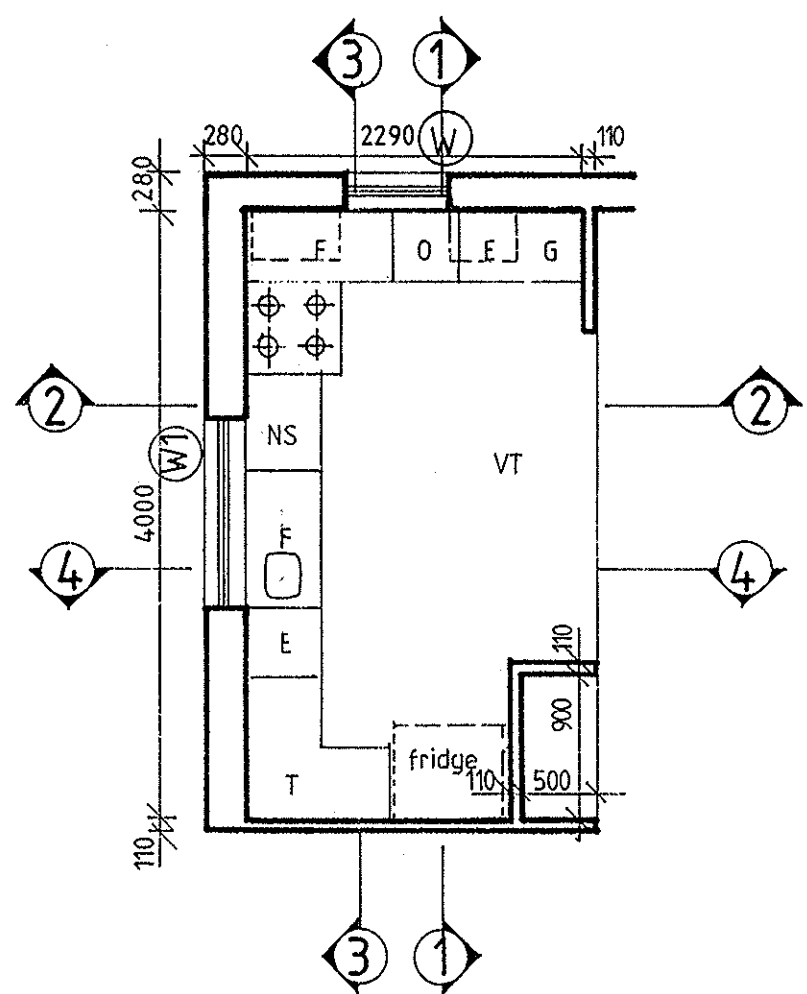
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

PROJECT: REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE DEPARTMENT OF HOUSING

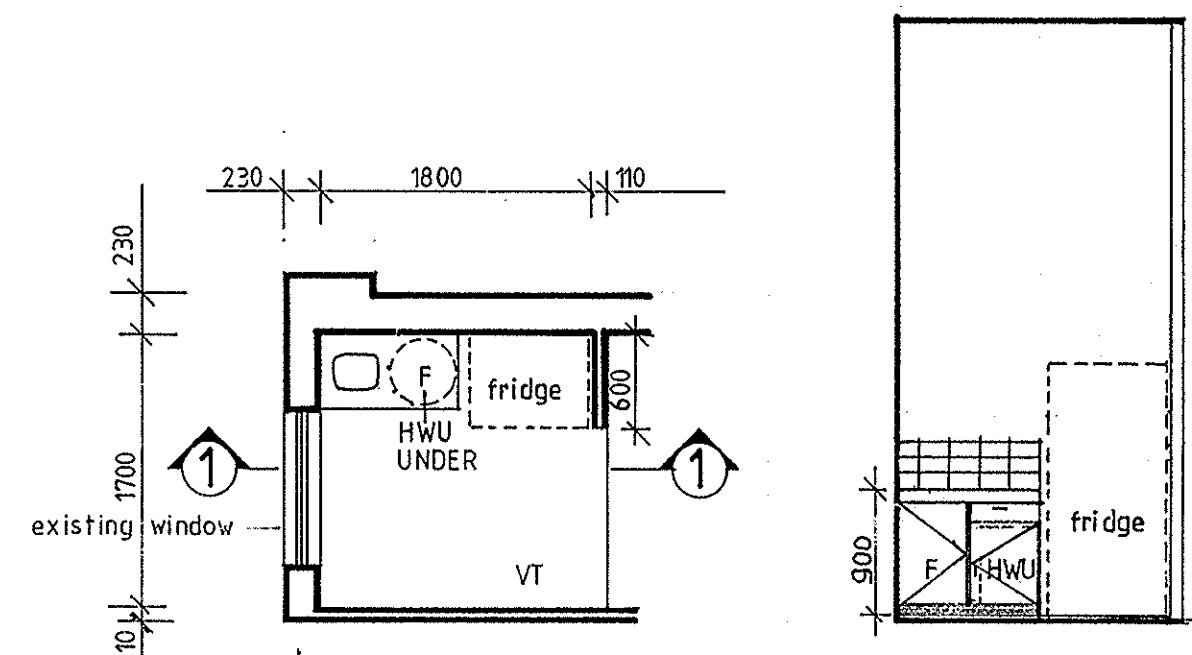
INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 MERIDAH STREET
CHATSWOOD 2067
TELEPHONE 419 7299

BLOCK C STAIR DETAILS

DATE: NOV 1991
SCALE: 1:20
ISSUE NO: A. A15

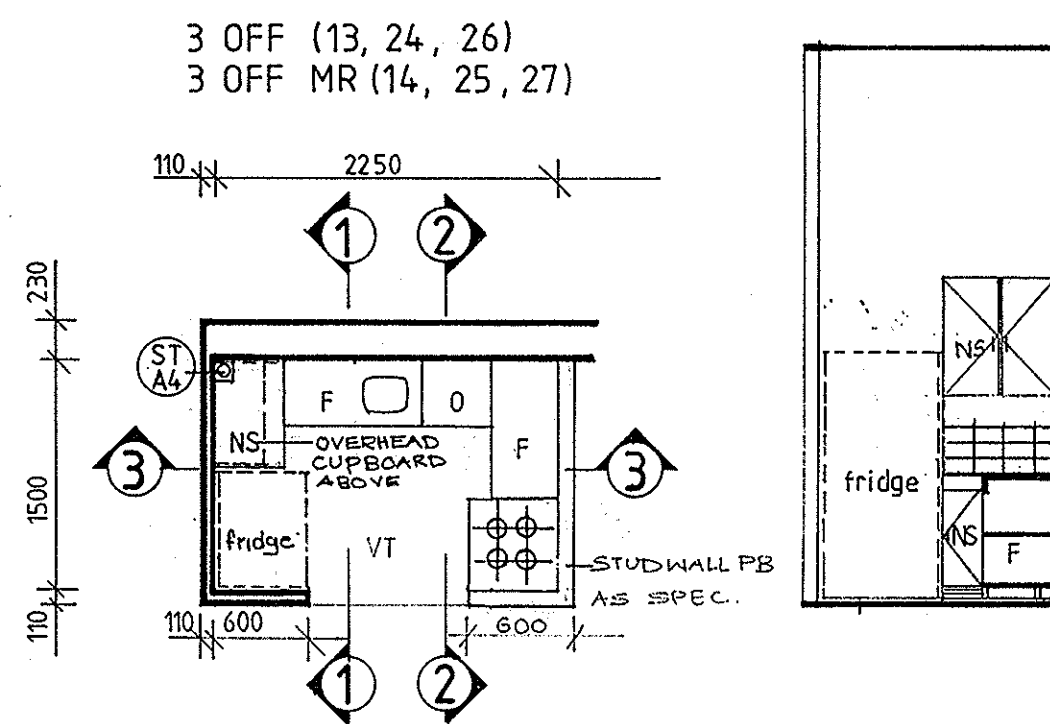


C PLAN BLOCK-C
3 OFF (3,12,23)



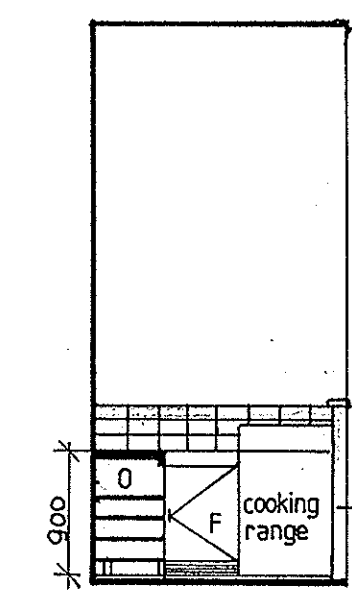
E PLAN BLOCK-A
[GROUND FLOOR]

1-1

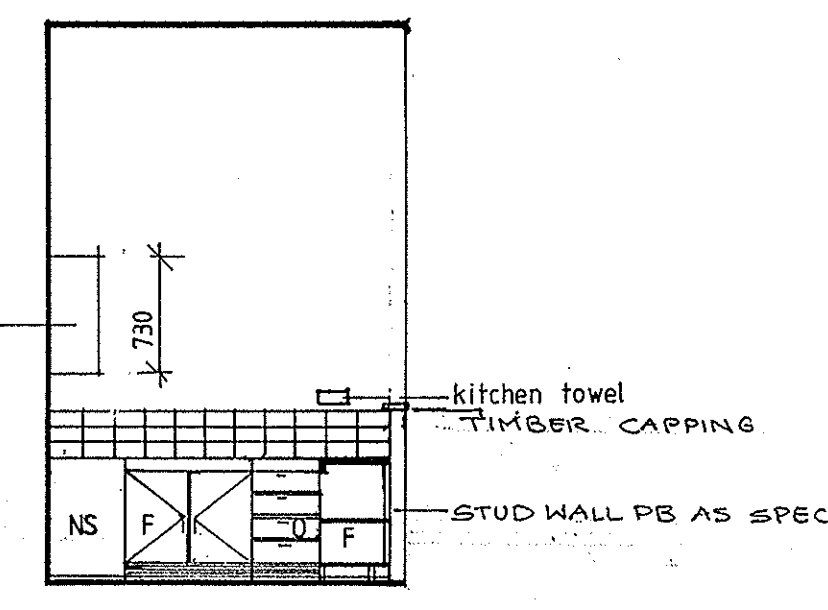


F PLAN BLOCK-A
[1st, 2nd & 3rd FLOOR]

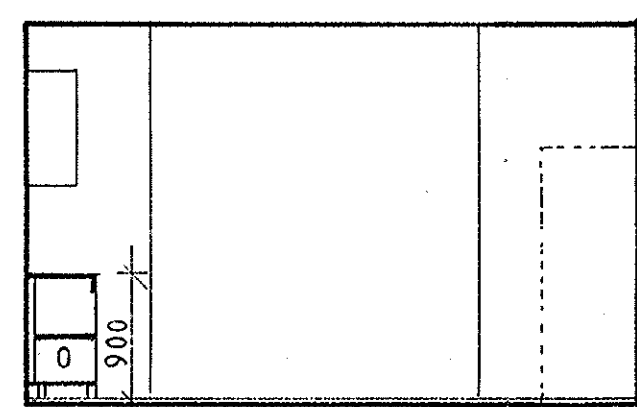
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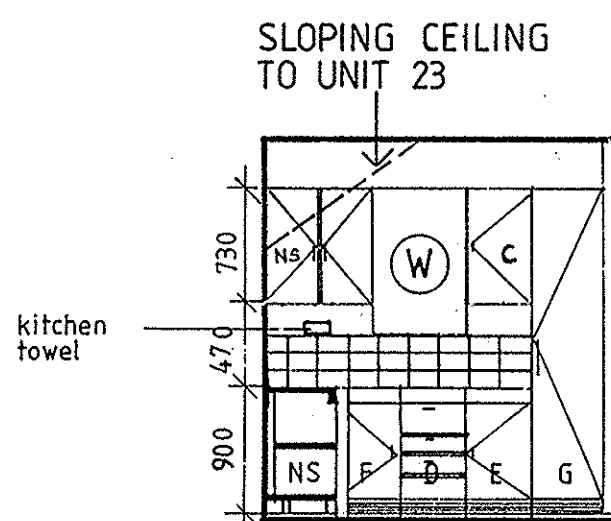
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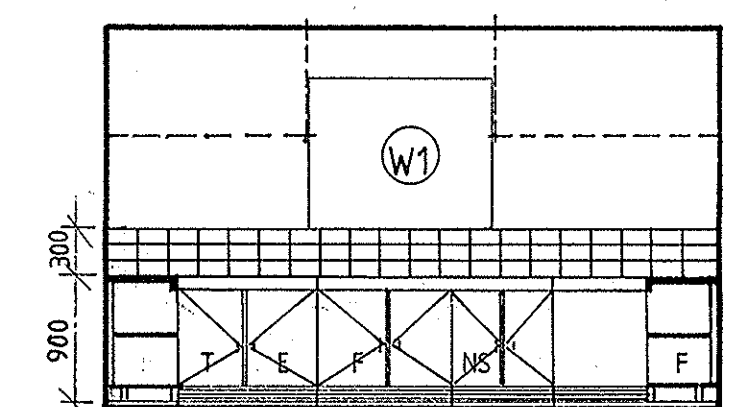
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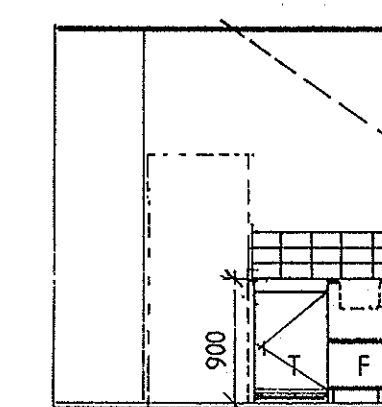
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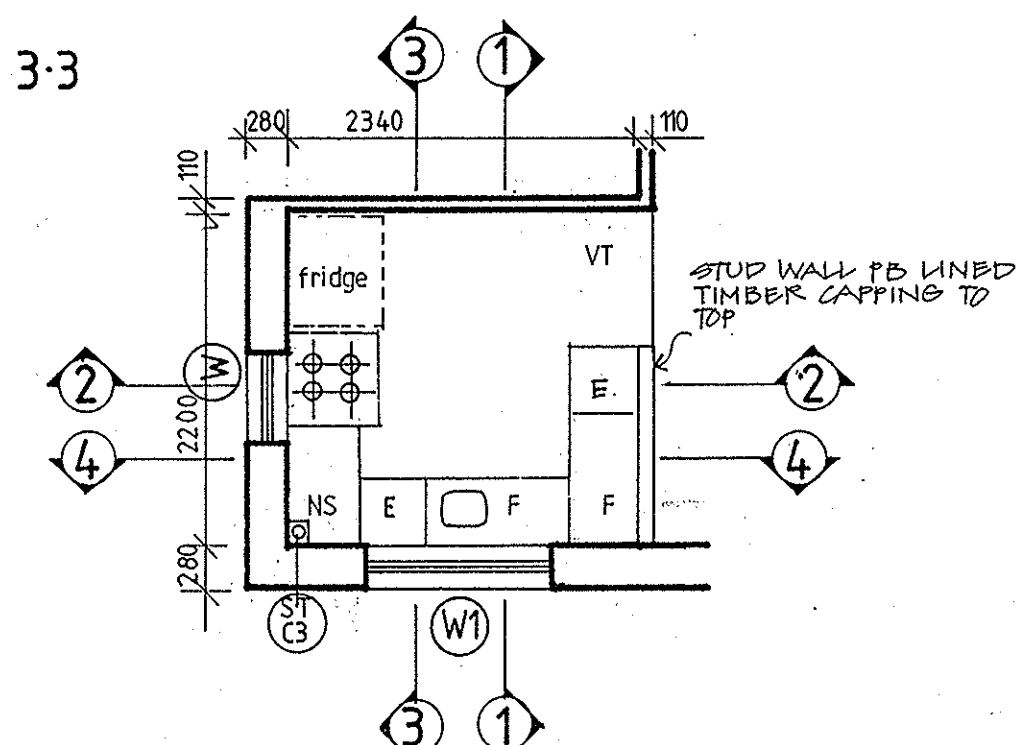
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3-3

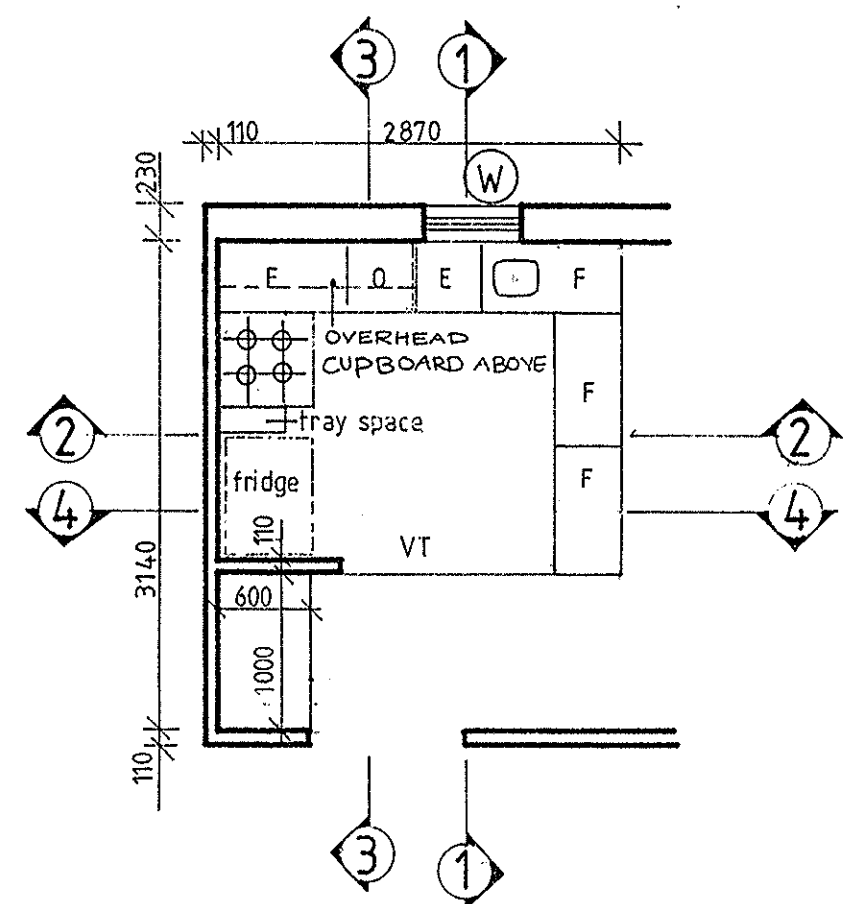


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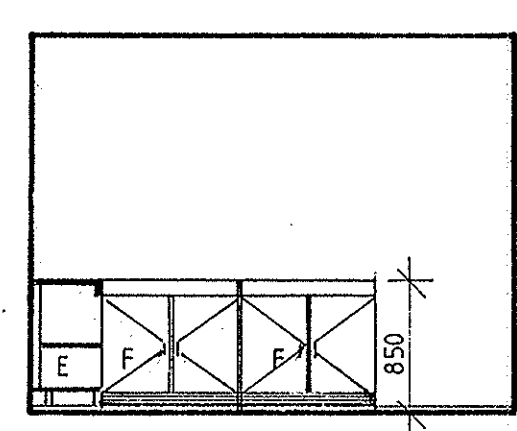


D PLAN BLOCK-C

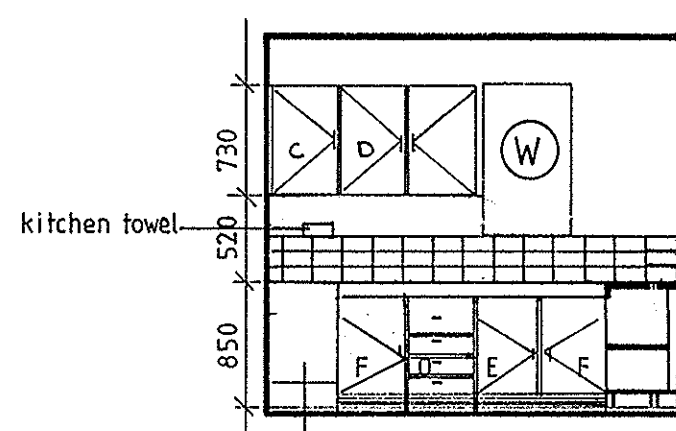
3 OFF (1,10,21)
3 OFF MR (2,11,22)



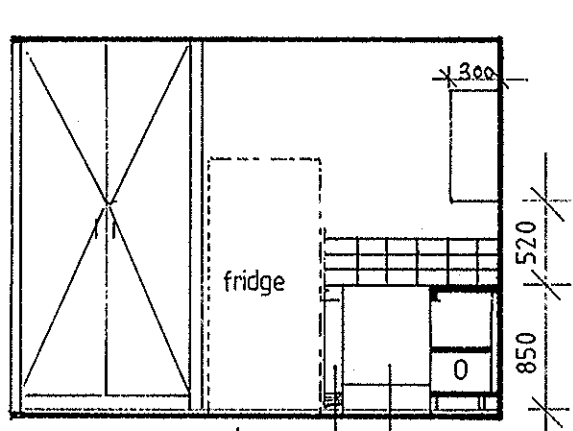
B PLAN BLOCK-B
[FIRST FLOOR]
3 OFF (16,18,20)
3 OFF MR (15,17,19)



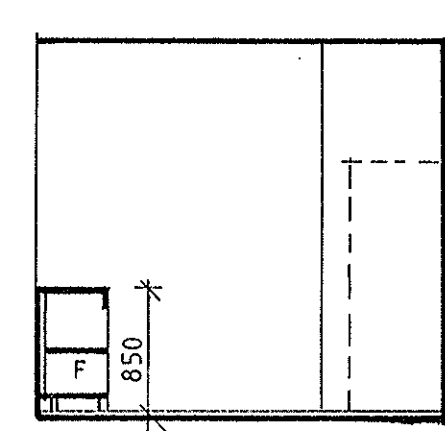
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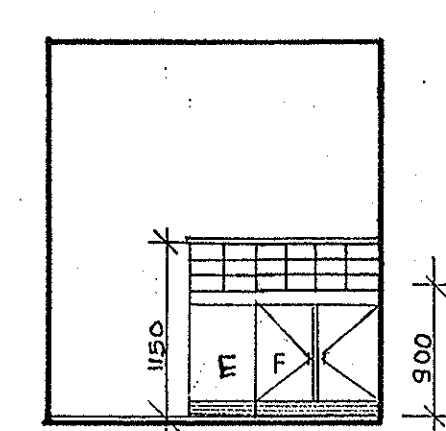
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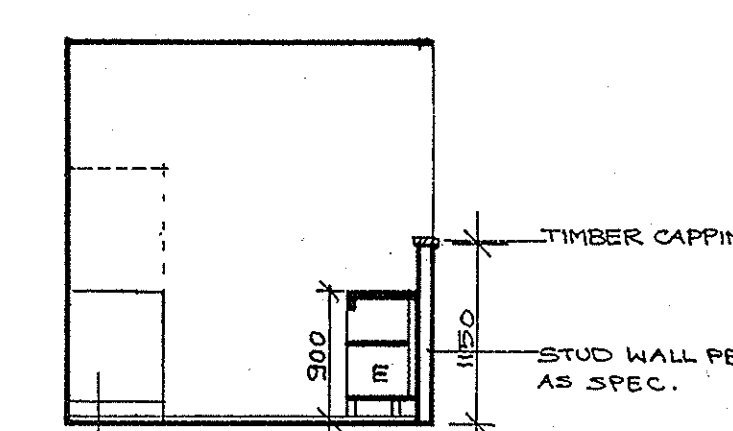
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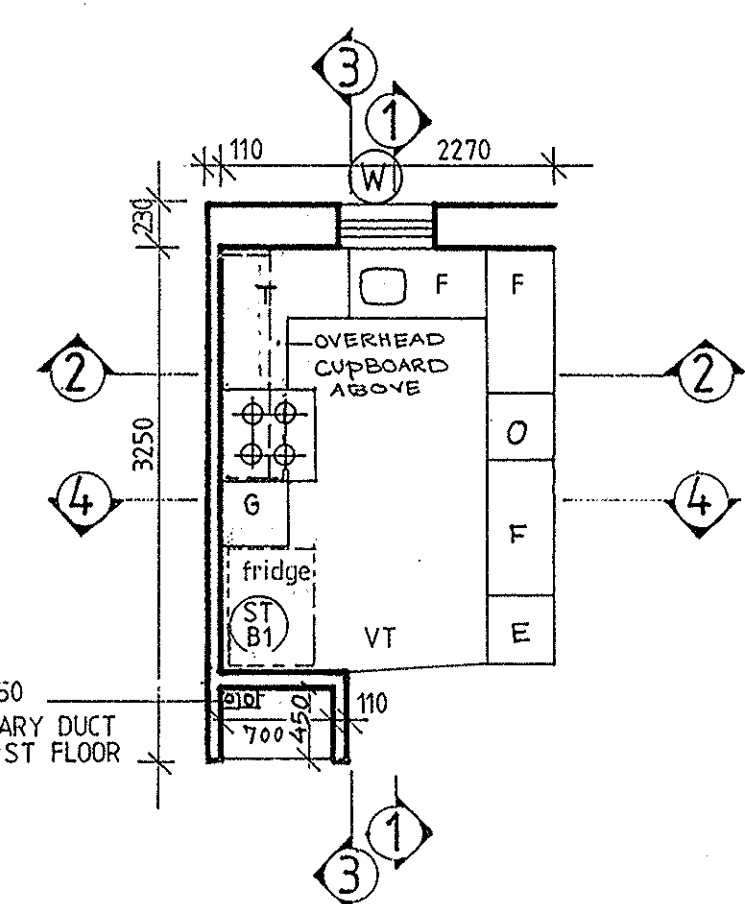
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1-1

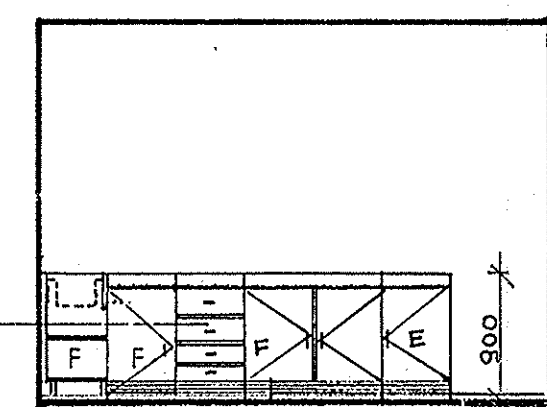


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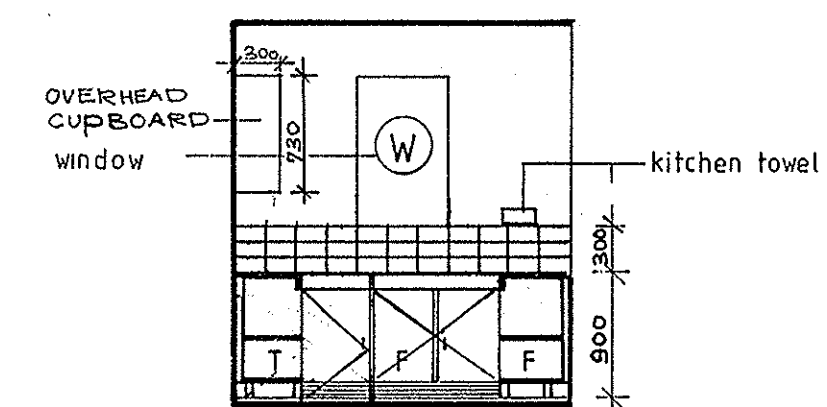


A PLAN BLOCK-B
[GROUND FLOOR]

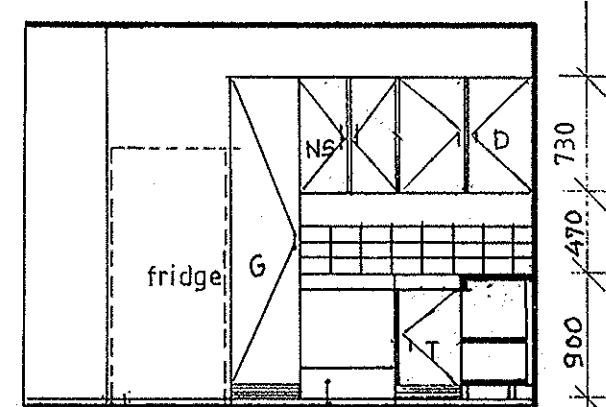
3 OFF (5,7,9)
3 OFF MR (4,6,8)



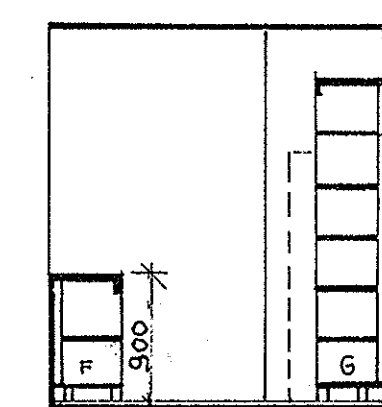
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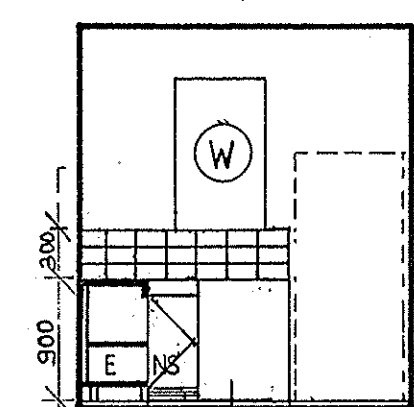
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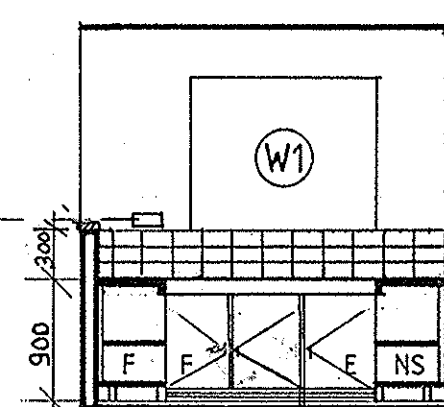
3-3



4-4



3-3



4-4

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CONDITIONS OF CONTRACT AND AGREEMENT

| FINISHES KEYS | | FINISHES KEYS | |
|---------------|----------------------|---------------|---------------------|
| CT | CERAMIC TILES | FE | FEATURE BRICKWORK |
| VT | VINYL TILES | CR | CONCRETE ROOF TILES |
| CA | CARPET | CC | COLOURED CONCRETE |
| ST | STEEL TROWELLED CONC | OC | OFF FORM CONC |
| TT | TERRACOTTA TILES | CJ | CONTROL JOINT |
| CP | CONCRETE PAVERS | | |
| WF | WOOD FLOAT CONC | | |
| FB | FACE BRICKWORK | | |
| CM | CEMENT RENDER | | |
| PB | PLASTER BOARD | | |
| SP | SET PLASTER | | |
| FC | FIBRE CEMENT | | |

REHABILITATION AND
INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

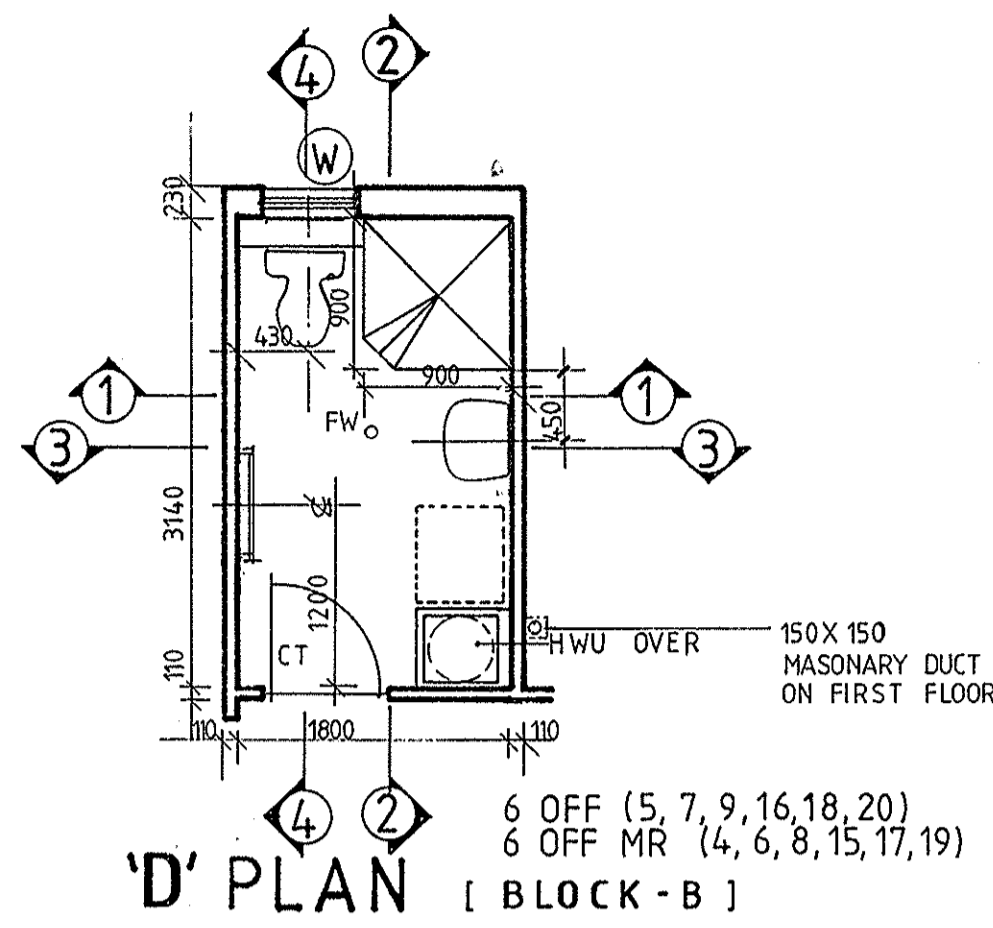
**INNOVAC
DYER
ARCHITECTS**
CHATSWOOD VILLAGE
47 MERIDAH STREET
CHATSWOOD 2087
TELEPHONE 419 7289

| ISSUE NO | AMENDMENT | DATE | BY |
|----------|-----------|------|----|
| | | | |

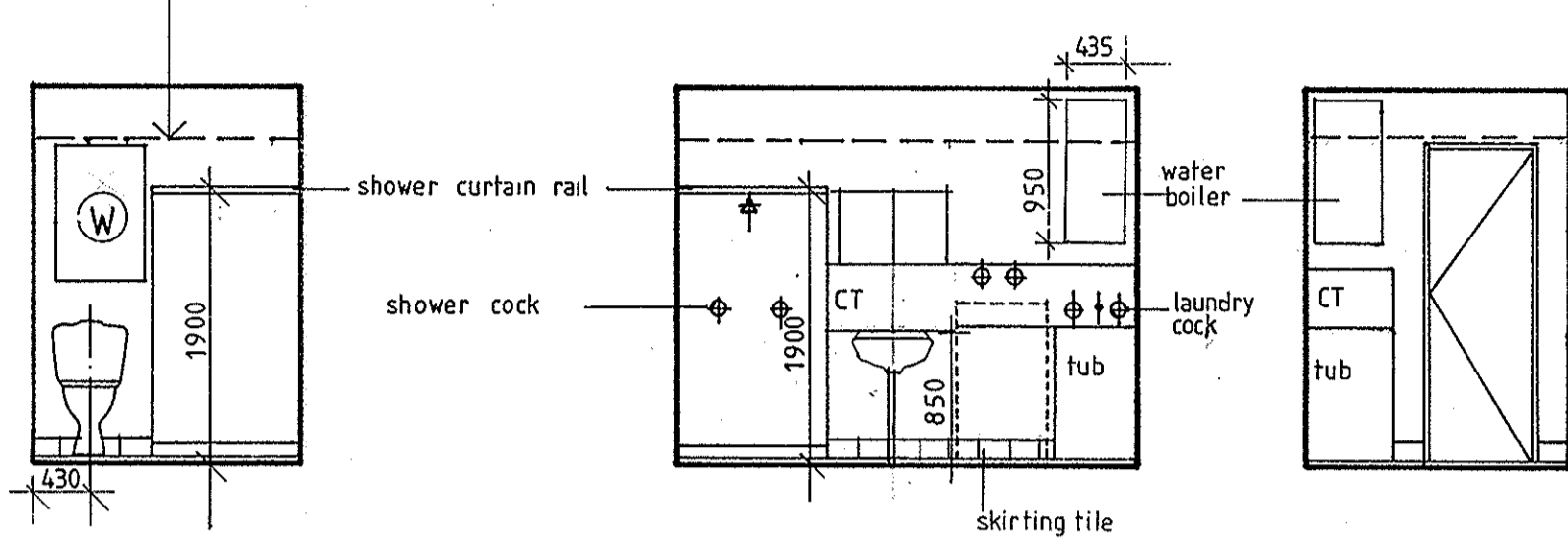
**BLOCK A, B & C
KITCHEN DETAILS**

| | | | |
|--------------------------|----------------------|-------------|-------------|
| JOB NO: 25100/001/010203 | DATE: NOV 91 | SCALE: 1:50 | DRAWING NO: |
| DRAWN: SS | CHECKED: [Signature] | ISSUE NO: | A16 |

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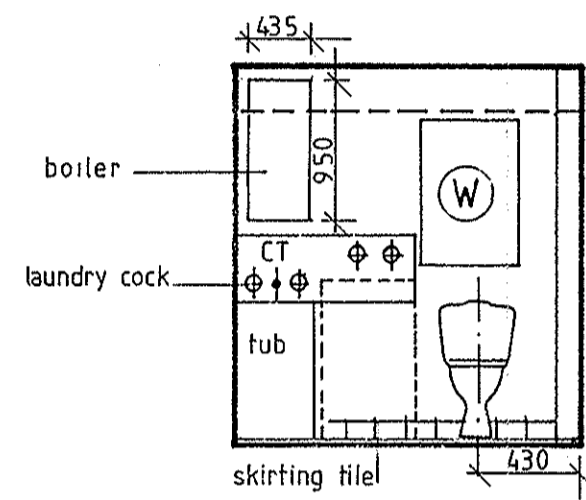
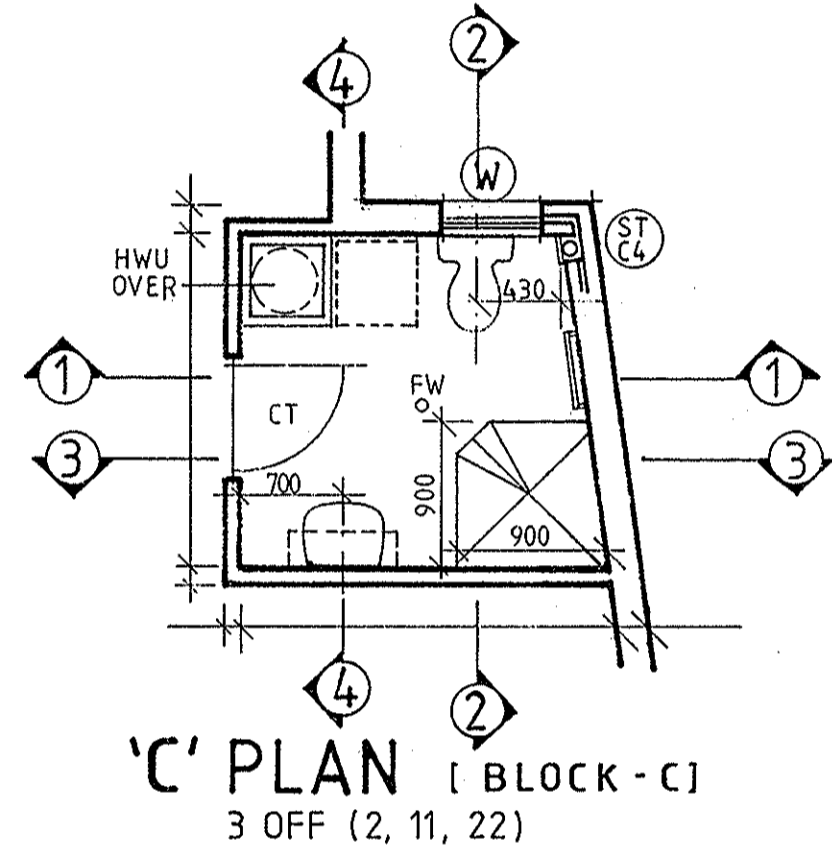
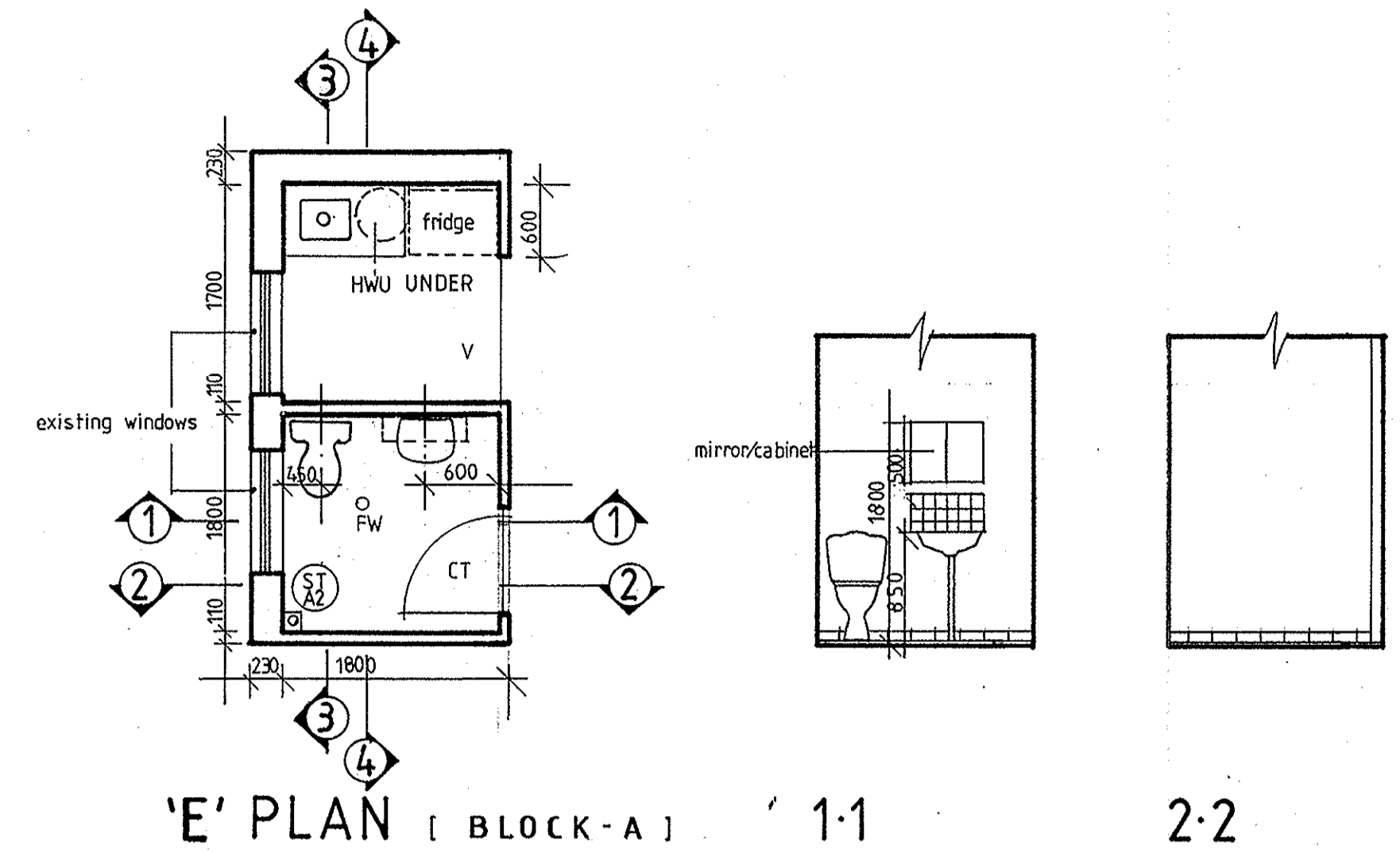
FALSE CEILING UNITS
4, 5, 6, 7, 8, 9



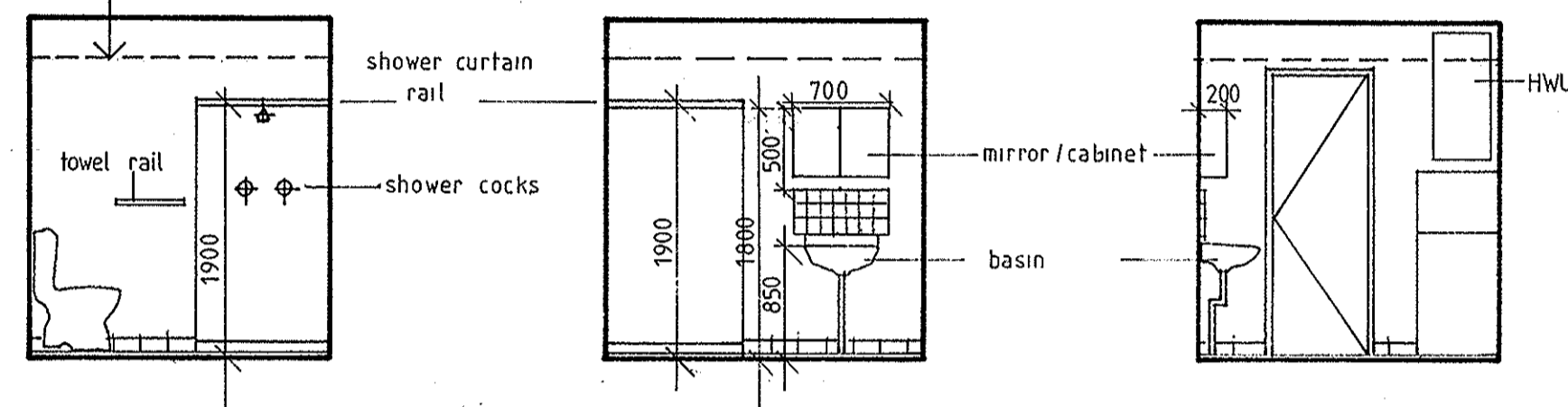
2-2

3-3

4-4

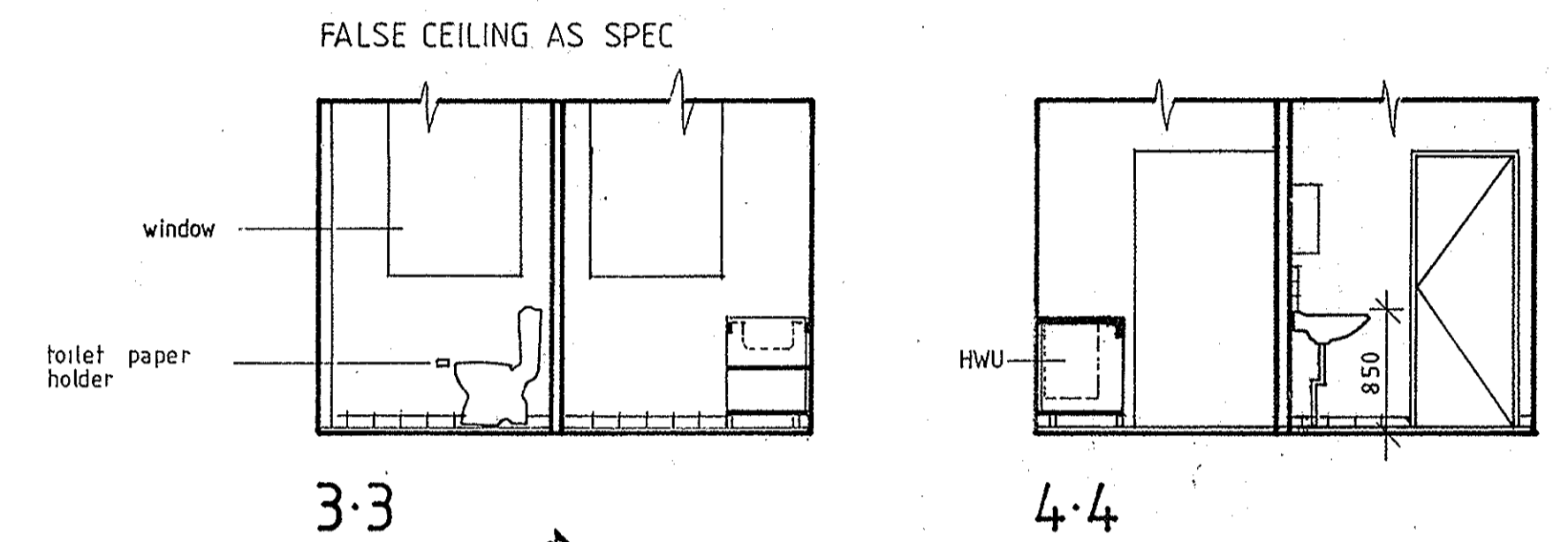


FALSE CEILING UNITS
2, 11

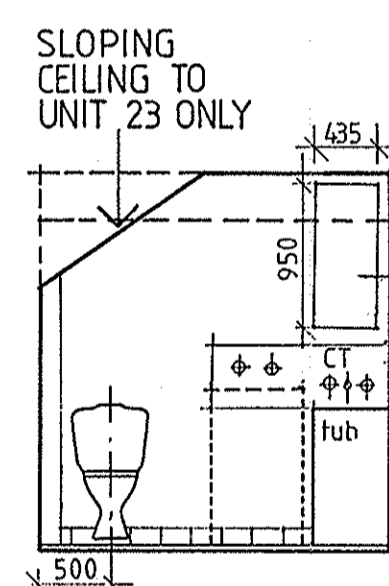
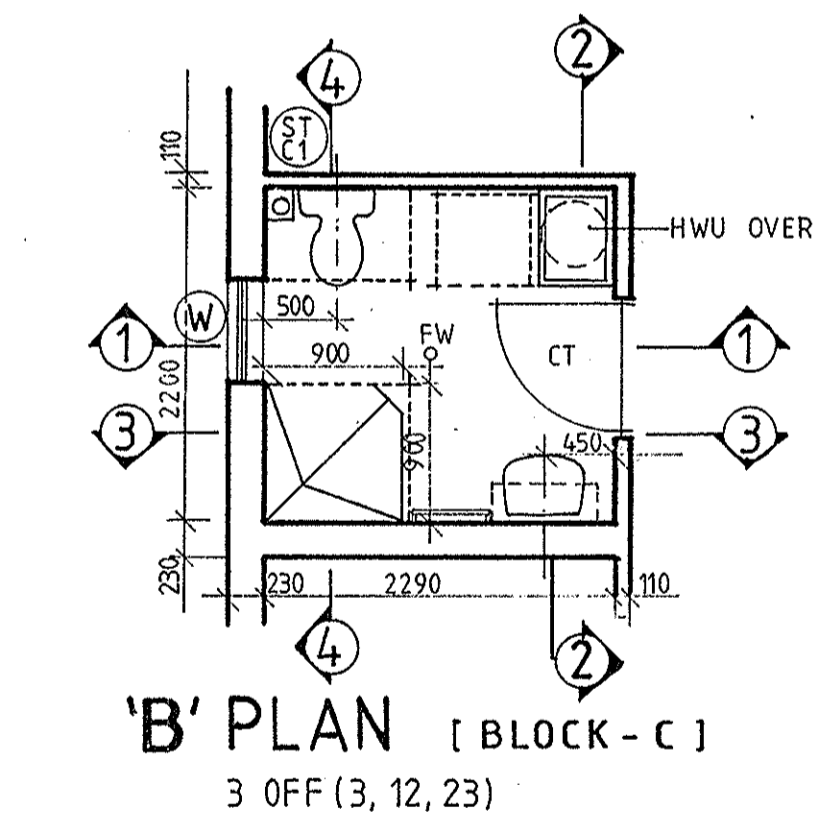


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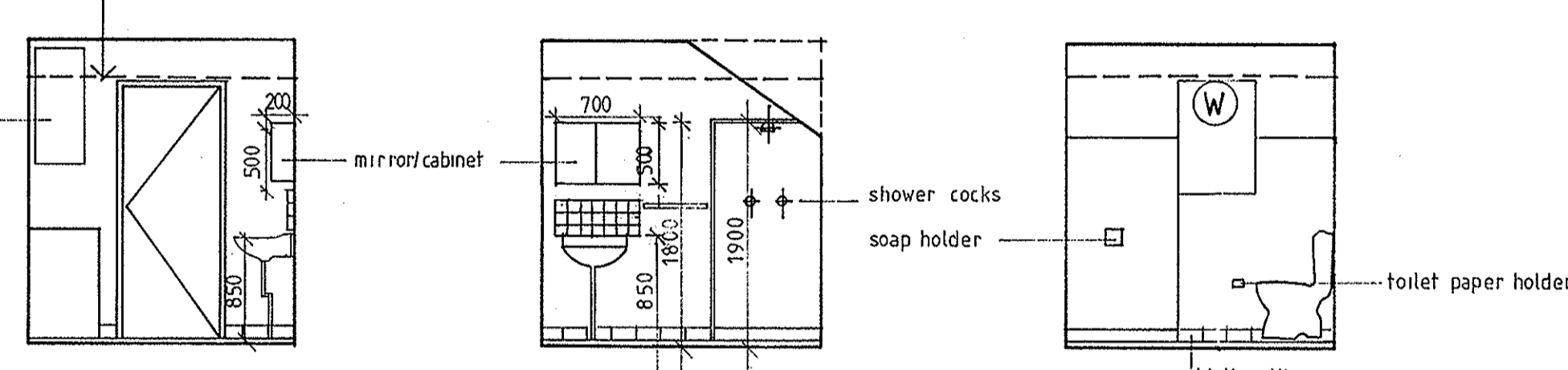
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4-4

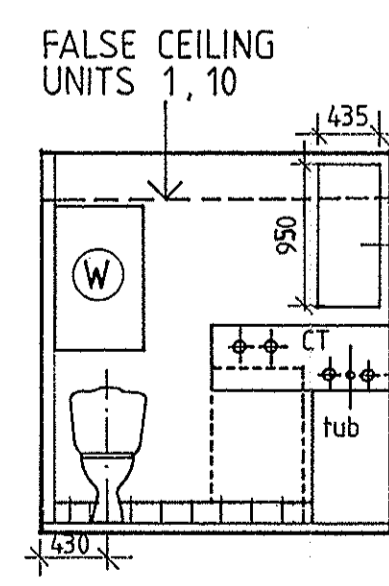
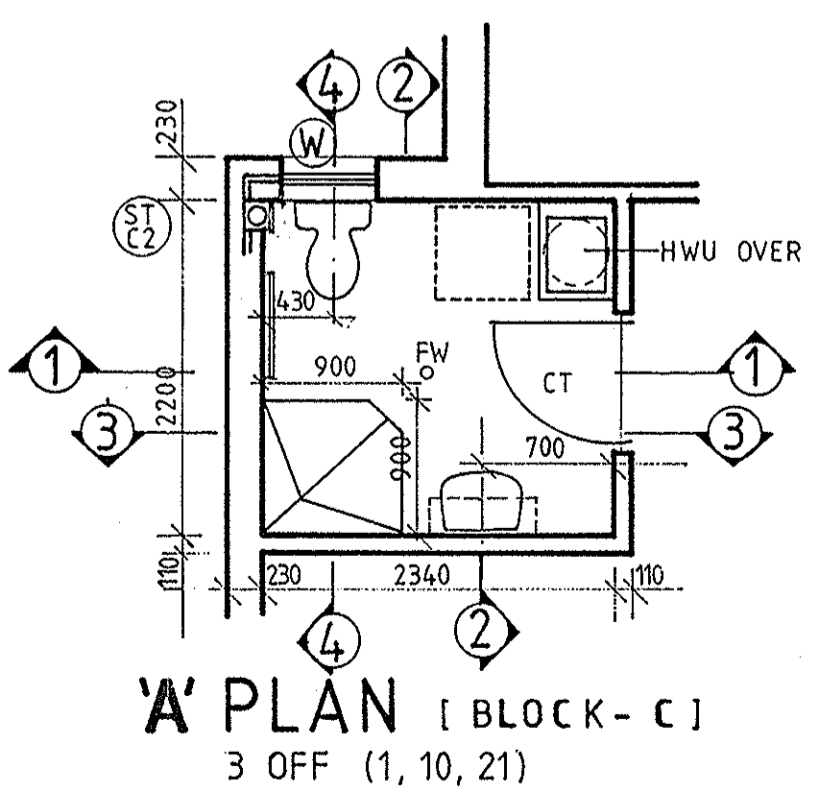
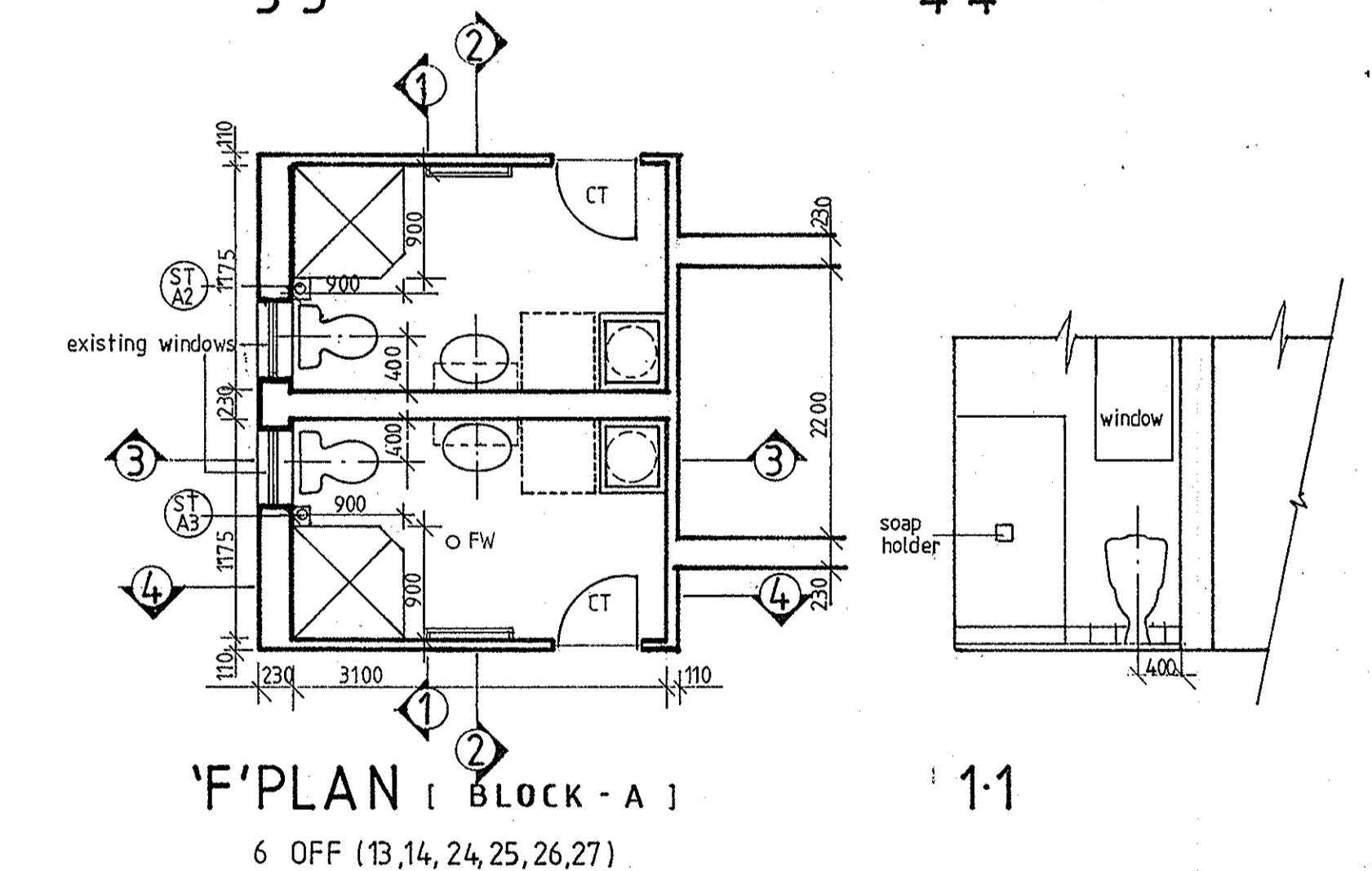


FALSE CEILING UNITS
3, 12

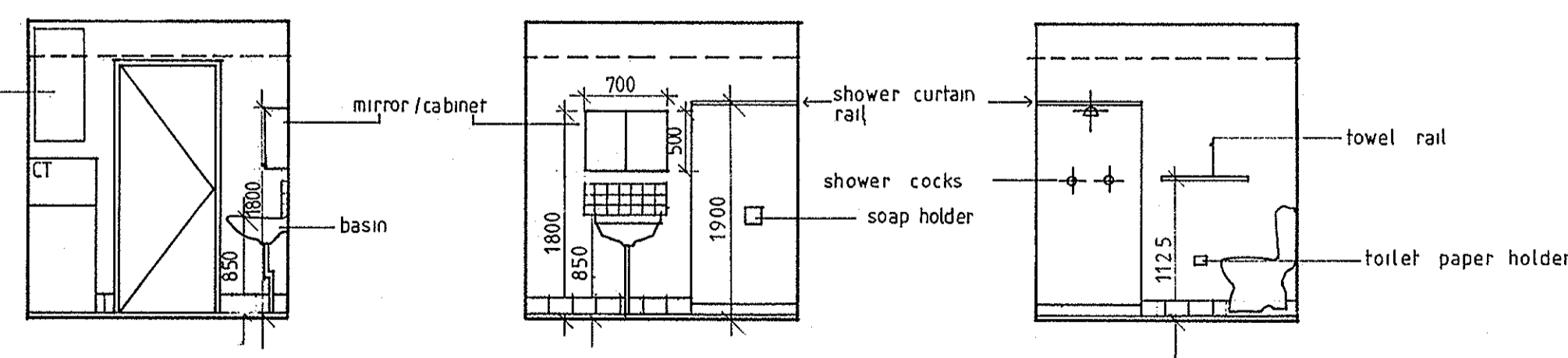


3-3

4-4

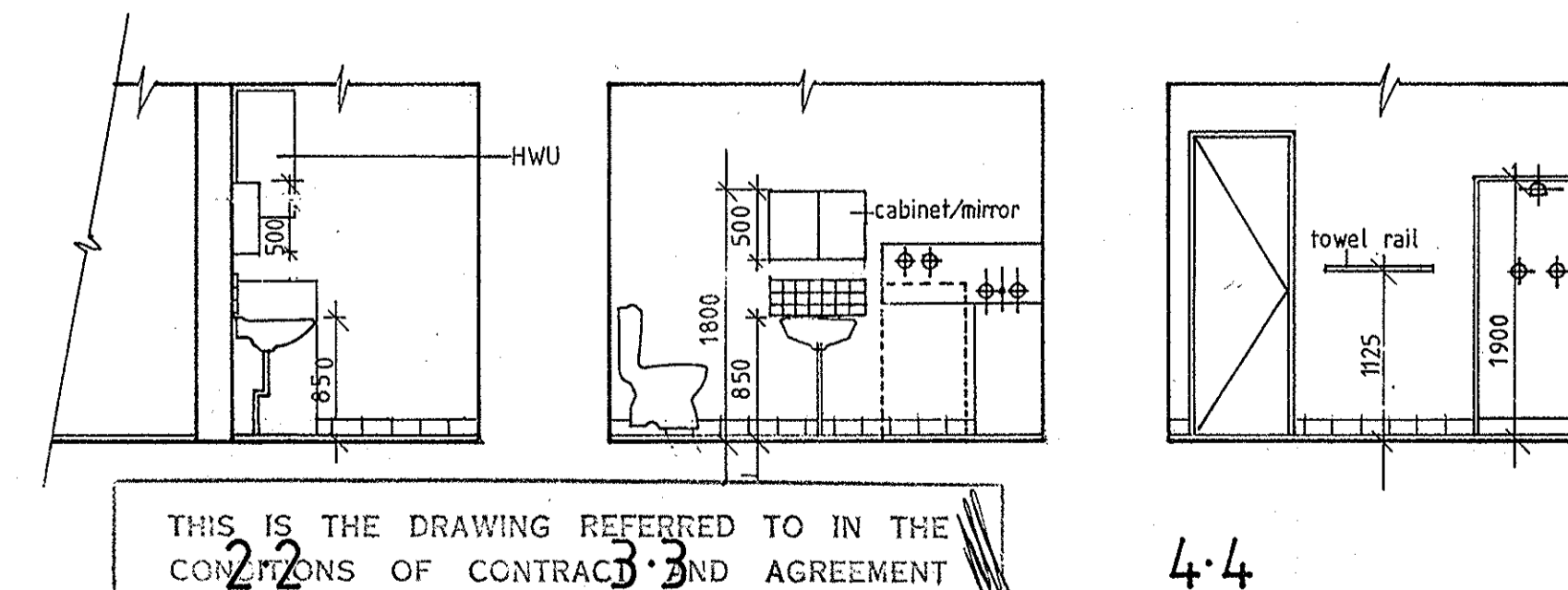


FALSE CEILING UNITS
1, 10



3-3

4-4



THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

FINISHES KEYS
NOTE: heights to top of fittings

| | |
|----|-----------------------|
| CT | CERAMIC TILES |
| VT | VINYL TILES |
| CA | CARPET |
| ST | STEEL TROWELLED CONC. |
| TT | TERACOTTA TILES |
| CP | CONCRETE PAVERS |
| WF | WOOD FLOAT CONC |
| FB | FACE BRICKWORK |
| CM | CEMENT RENDER |
| PB | PLASTER BOARD |
| SP | SET PLASTER |
| FC | FIBRE CEMENT |
| FE | FEATURE BRICKWORK |
| CR | CONCRETE ROOF TILES |
| CC | COLOURED CONCRETE |
| OC | OFF FORM CONC |

HIEGHTS OF FITTINGS
NOTE: heights to top of fittings

| | |
|-----------------------|------|
| LAUNDRY COCKS & SPOUT | 1125 |
| WASHING MACHINE COCKS | 1125 |
| BASIN | 850 |
| MIRROR/CABINET | 1800 |
| SOAP HOLDER - SHOWER | 825 |
| BATH | 650 |
| TOILET PAPER HOLDER | 500 |
| SHOWER ROSE (to base) | 1000 |
| SHOWER COCKS | 900 |
| BATH SET | 1250 |
| SOAP COCK WC | 350 |
| TOWEL RAIL | 1125 |
| SHOWER CURTAIN RAIL | 1900 |
| SHOWER SEAT | 400 |

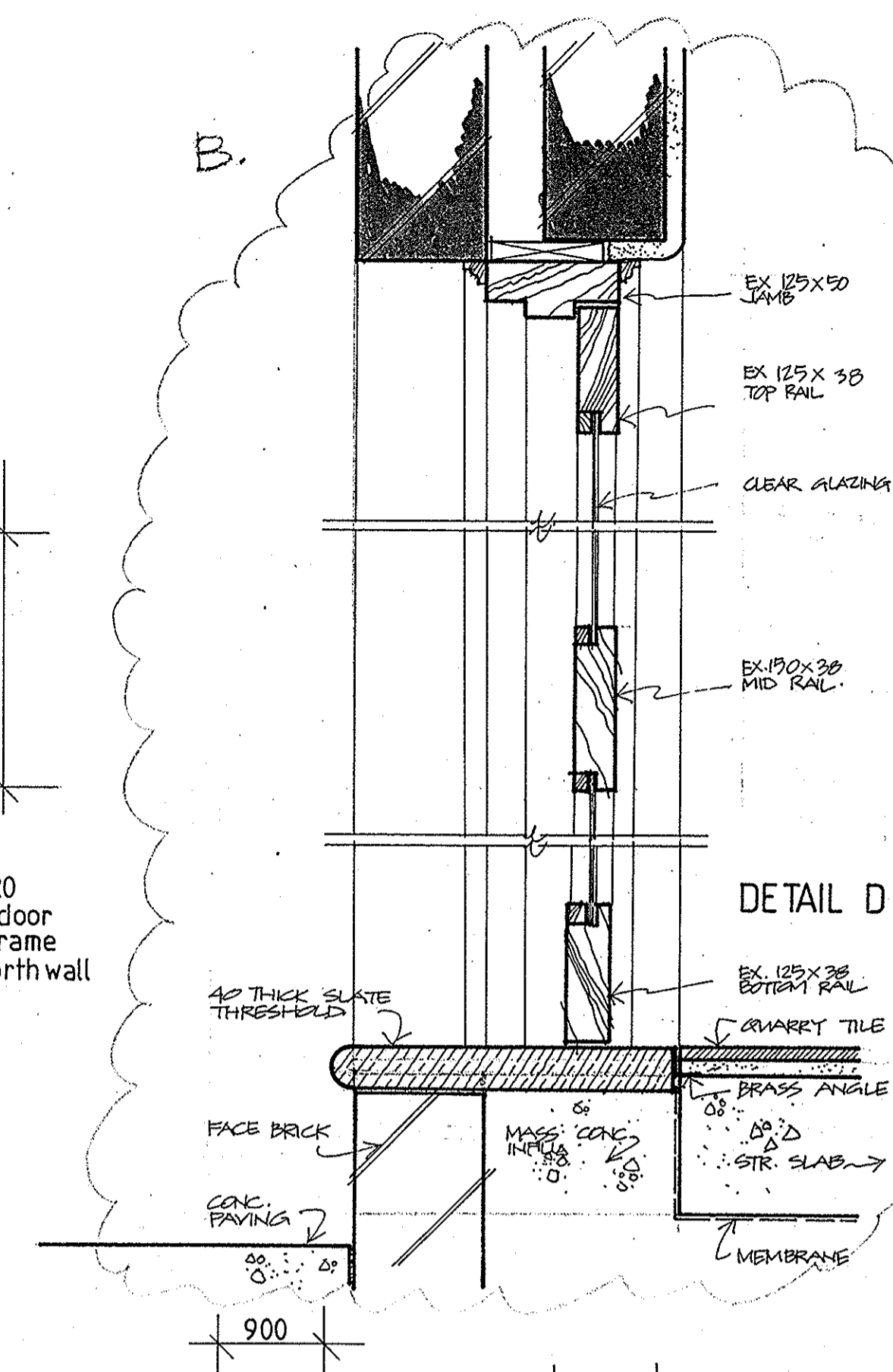
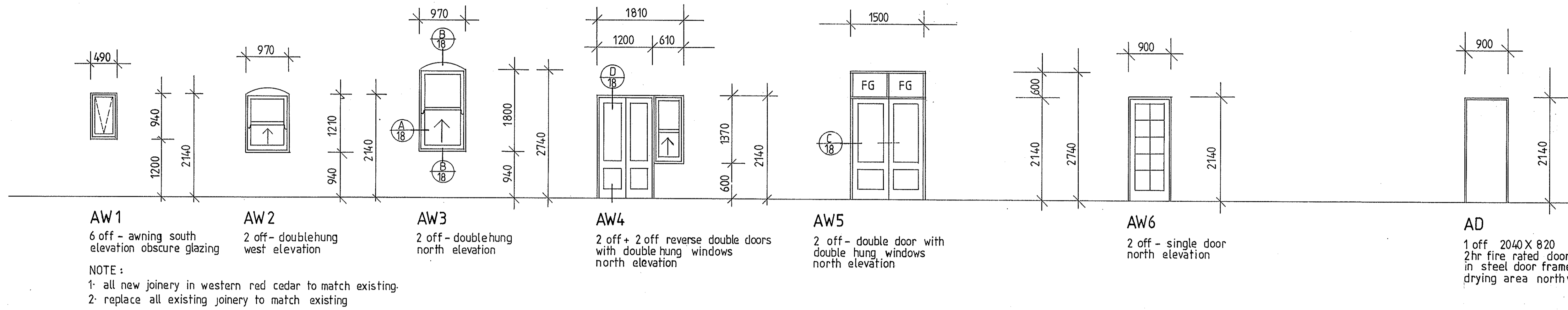
REHABILITATION AND INFILL HOUSING
61-63 PITTSWATER RD
MANLY FOR THE DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 NERIHDAH STREET
CHATSWOOD, 2067
TELEPHONE: 419 7299

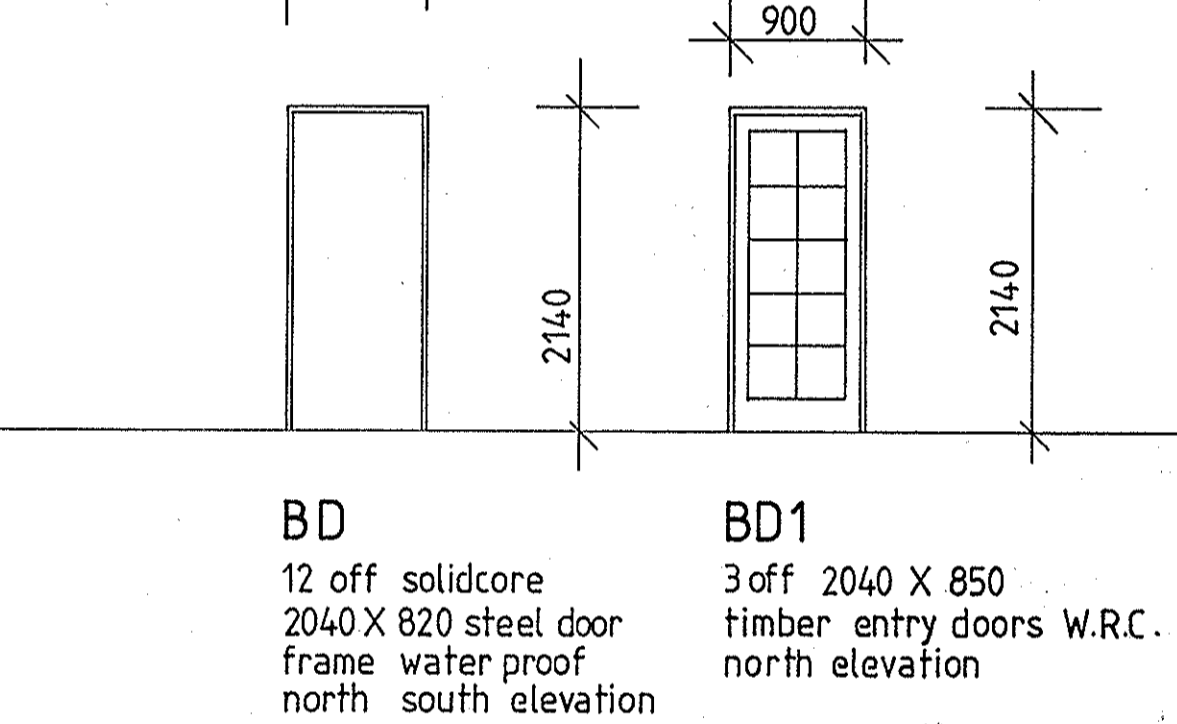
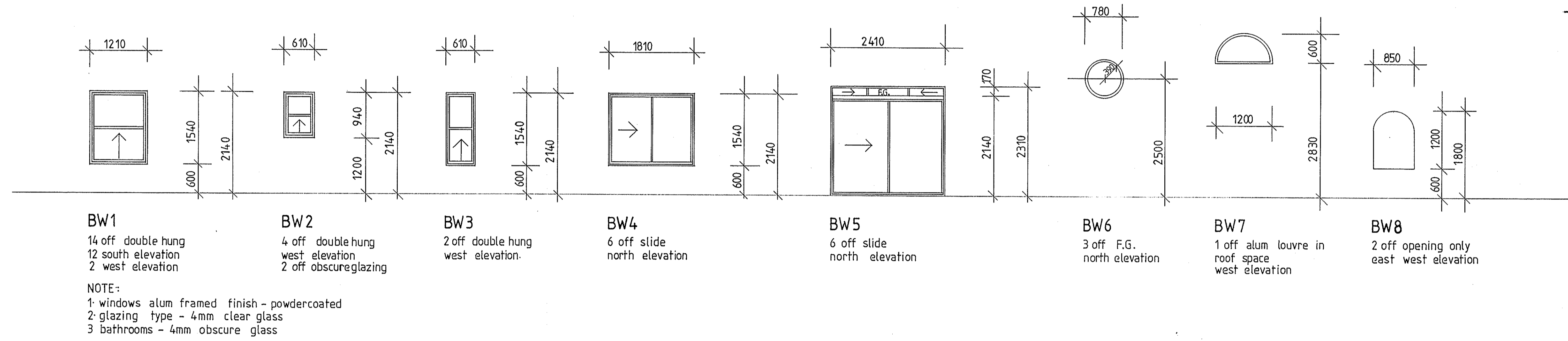
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|-----------------------------------|------------|-----------|-------------|
| PROJECT | DATE | SCALE | DRAWING NO. |
| REHABILITATION AND INFILL HOUSING | NOV 91 | 1:50 | A17 |
| DRAWN BY | CHECKED BY | ISSUE NO. | |
| SS | | | |

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS.
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

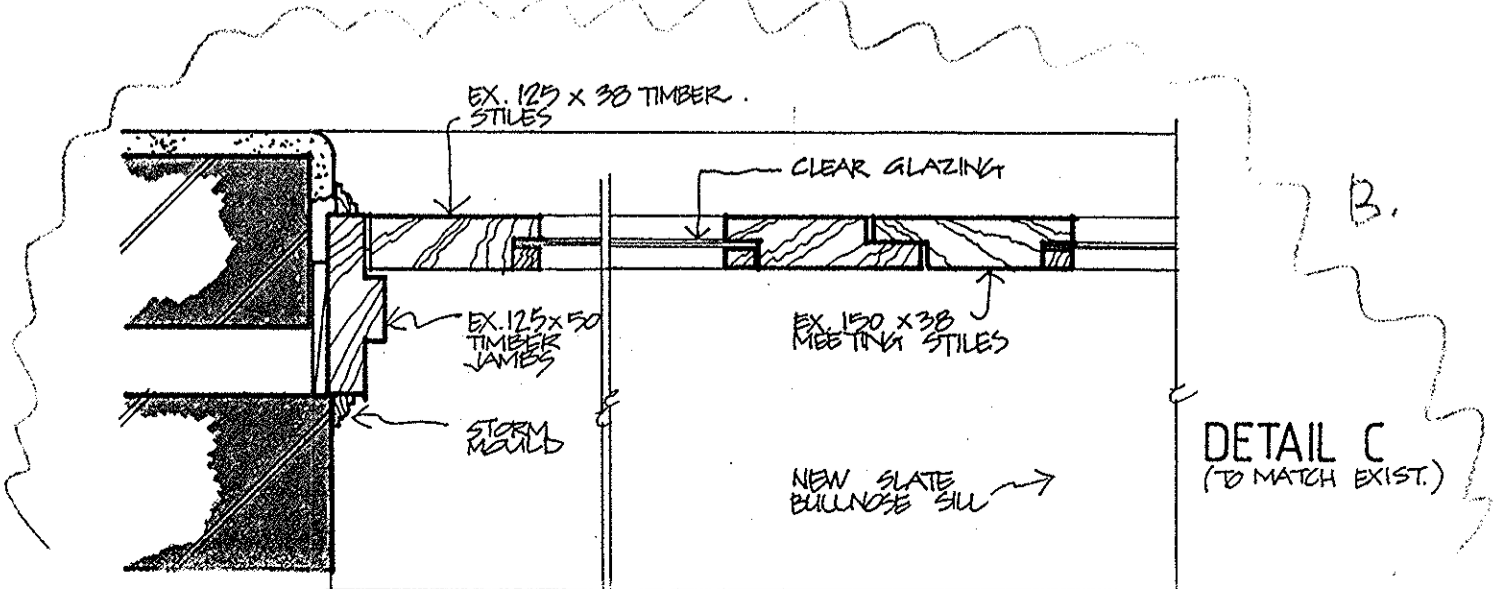
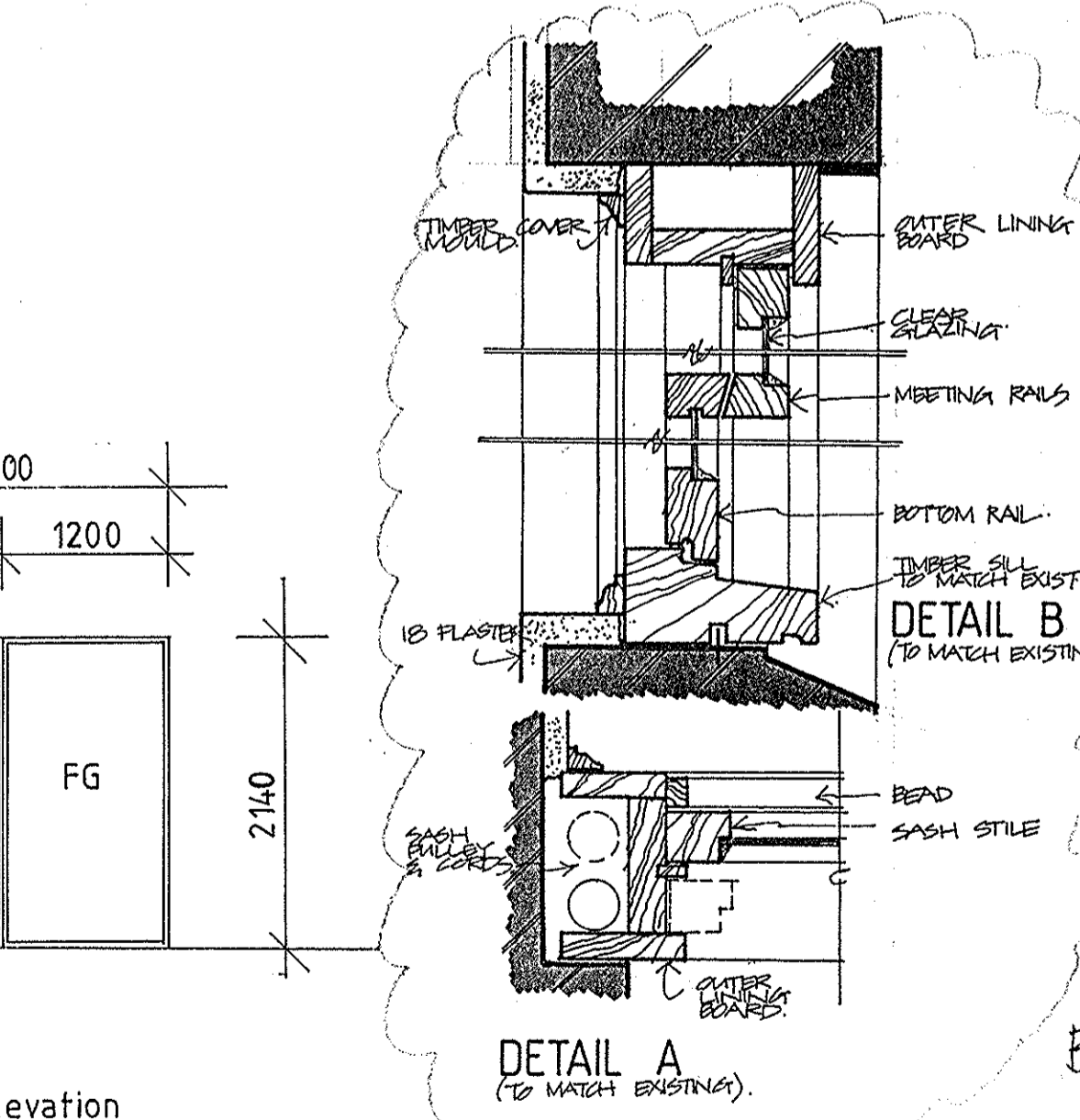
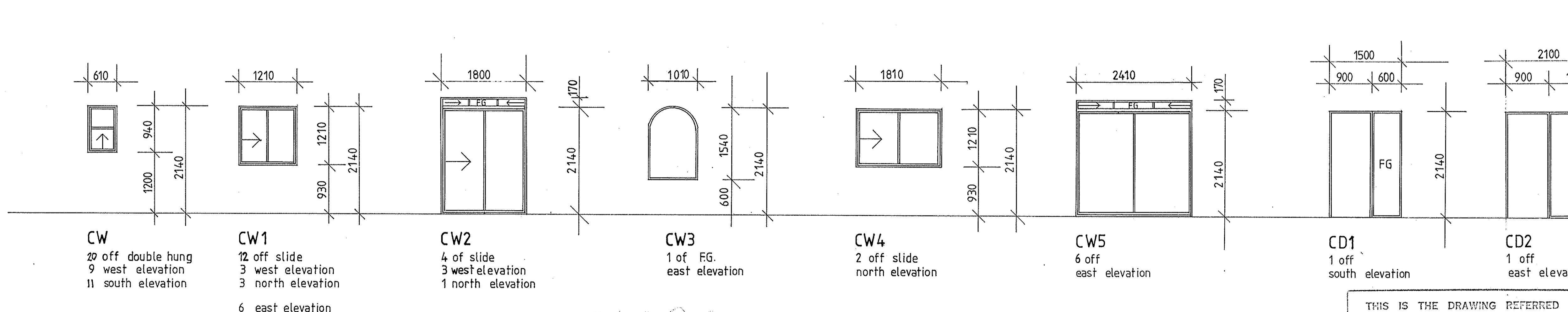
BLOCK A



BLOCK B



BLOCK C



THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 MERIDIAN STREET
CHATSWOOD 2067
TELEPHONE 418 7290

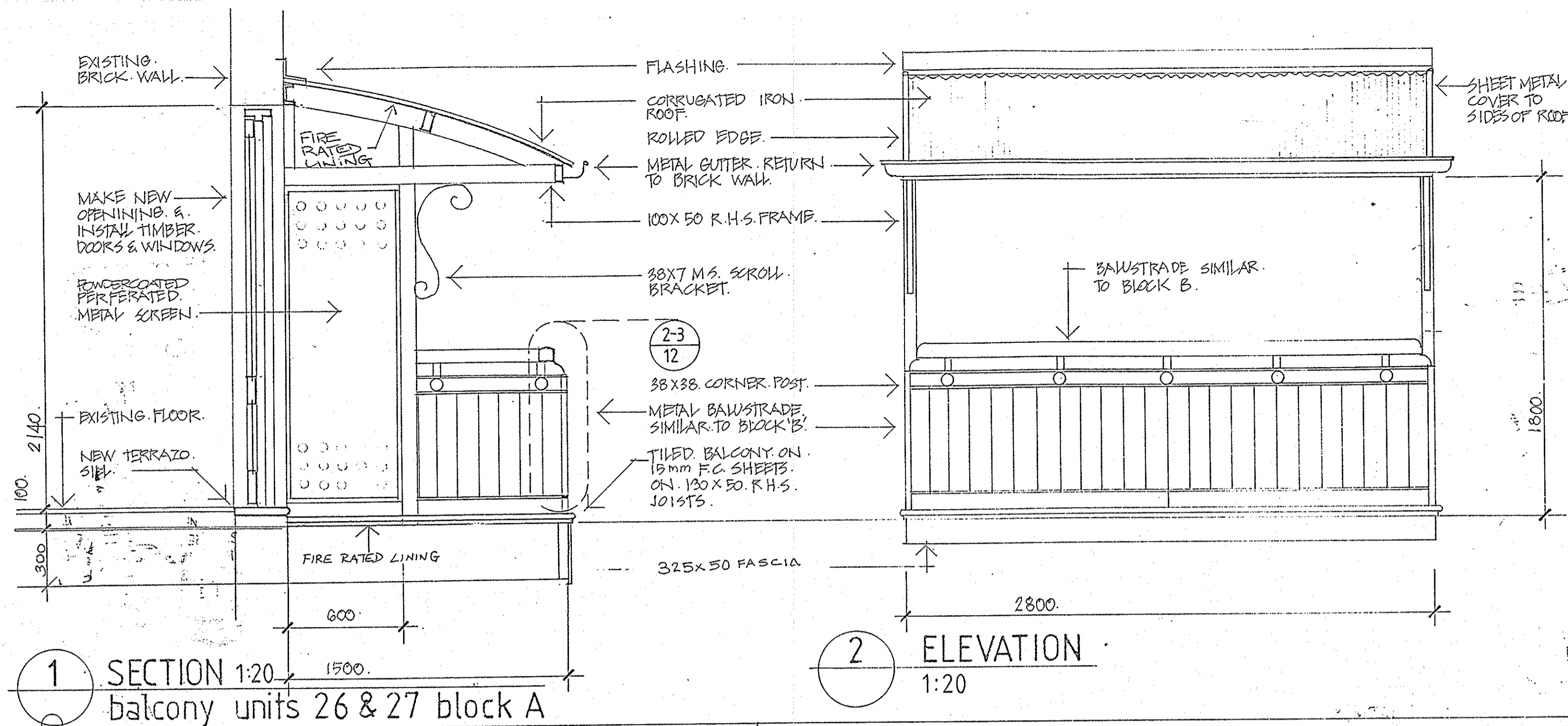
Details A+B+C+D Amend. 20/1/93
A AMW Amend. 15/12/91

BLOCK A B & C WINDOWS & DOORS SCHEDULE

DATE: NOV 91
SCALE: 1:50
DRAWING NO: A18

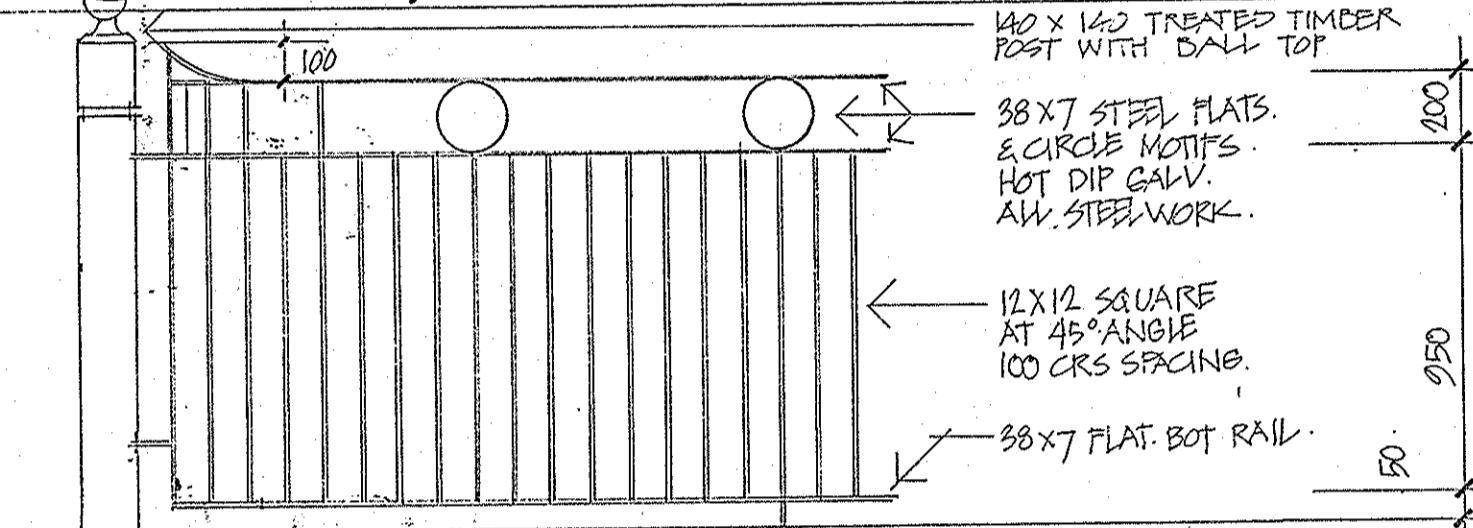
FOR NOT: 25/08/00/01/02/03
CHECKED: SS
ISSUE NO: B

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

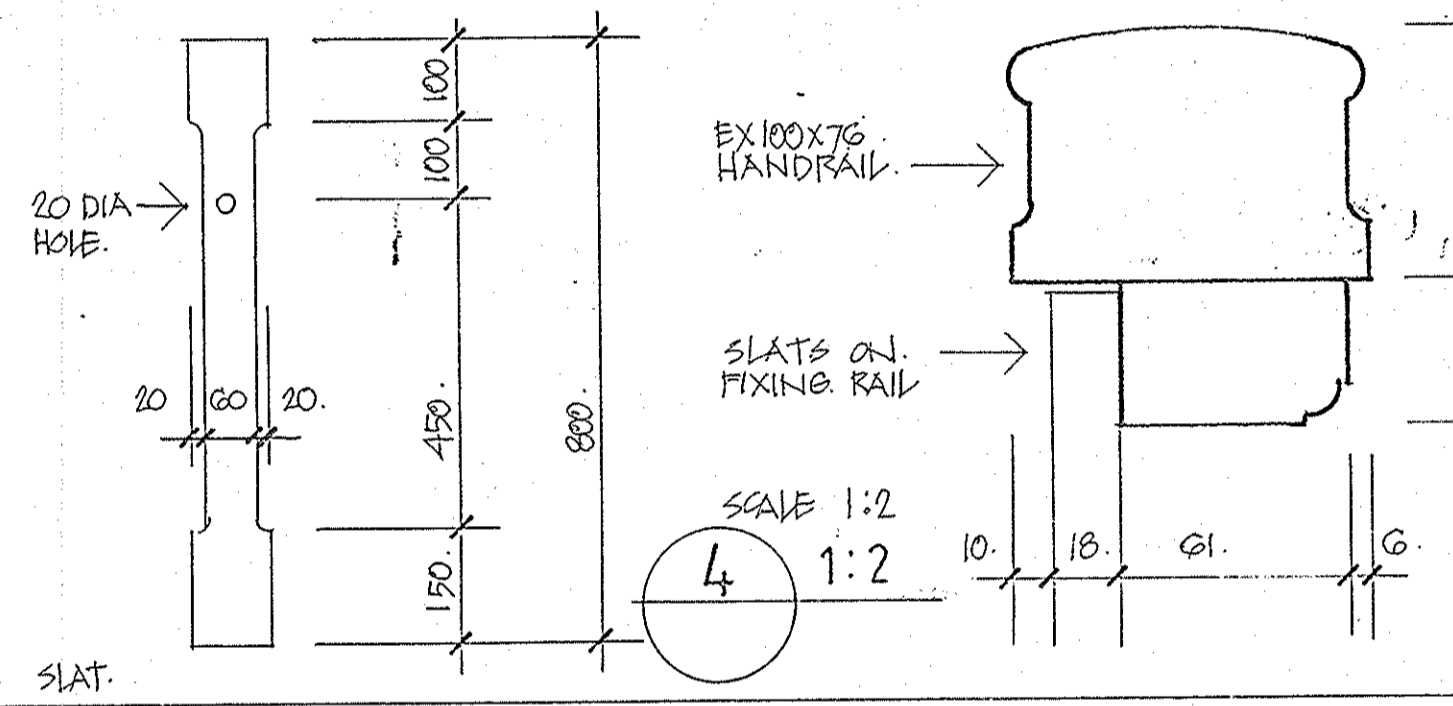


1 SECTION 1:20 balcony units 26 & 27 block A

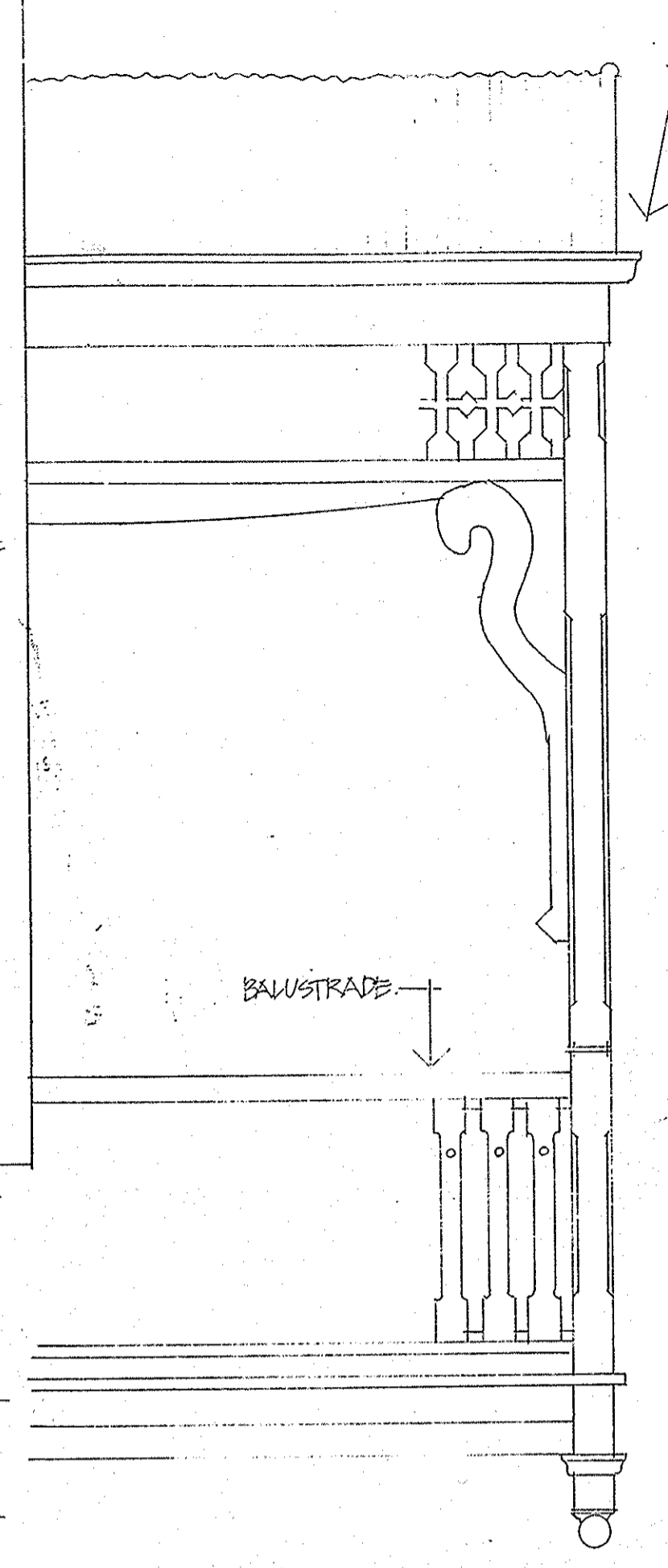
2 ELEVATION 1:20



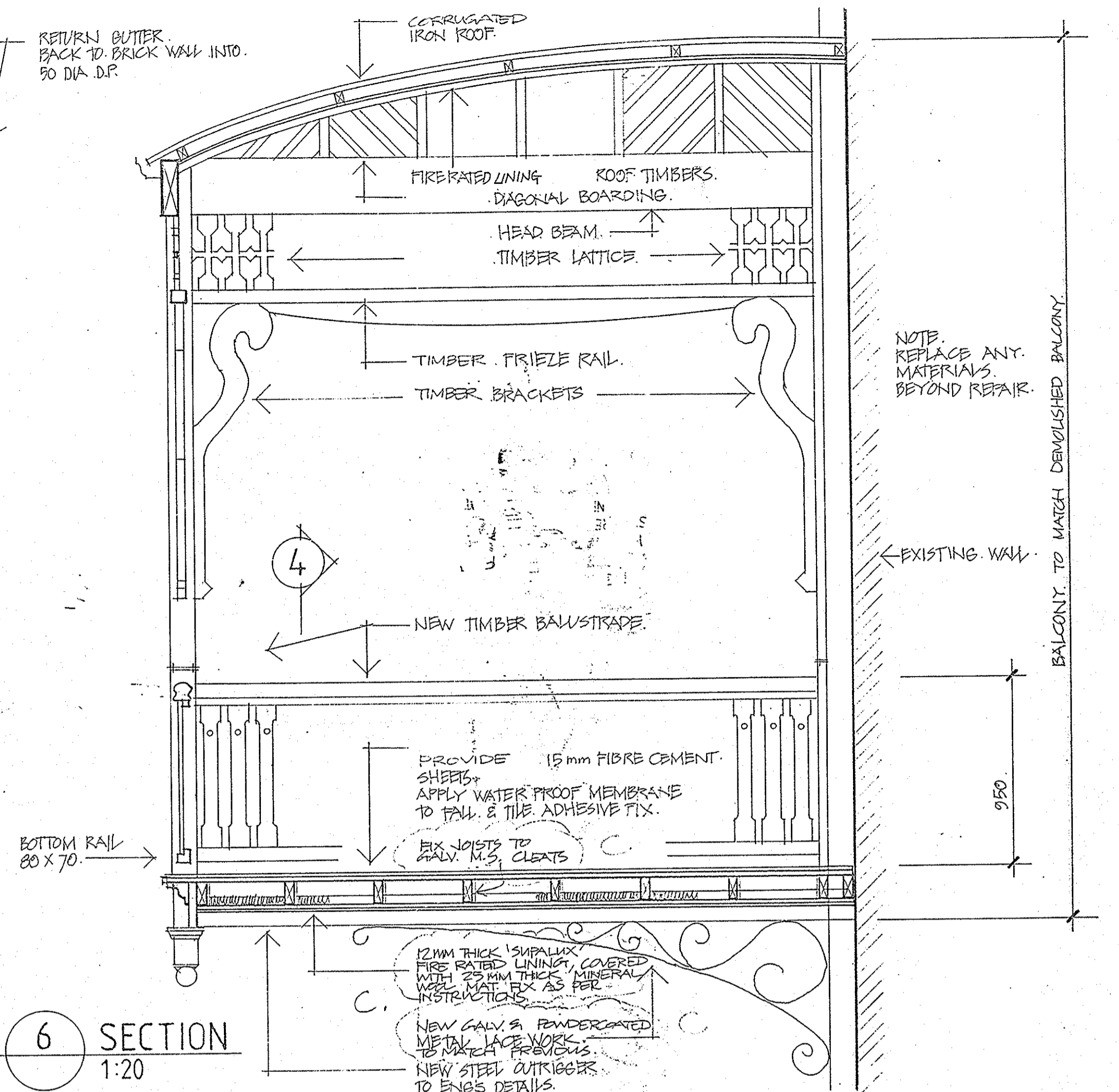
3 FENCE DETAIL 1:20 block A pitwater road



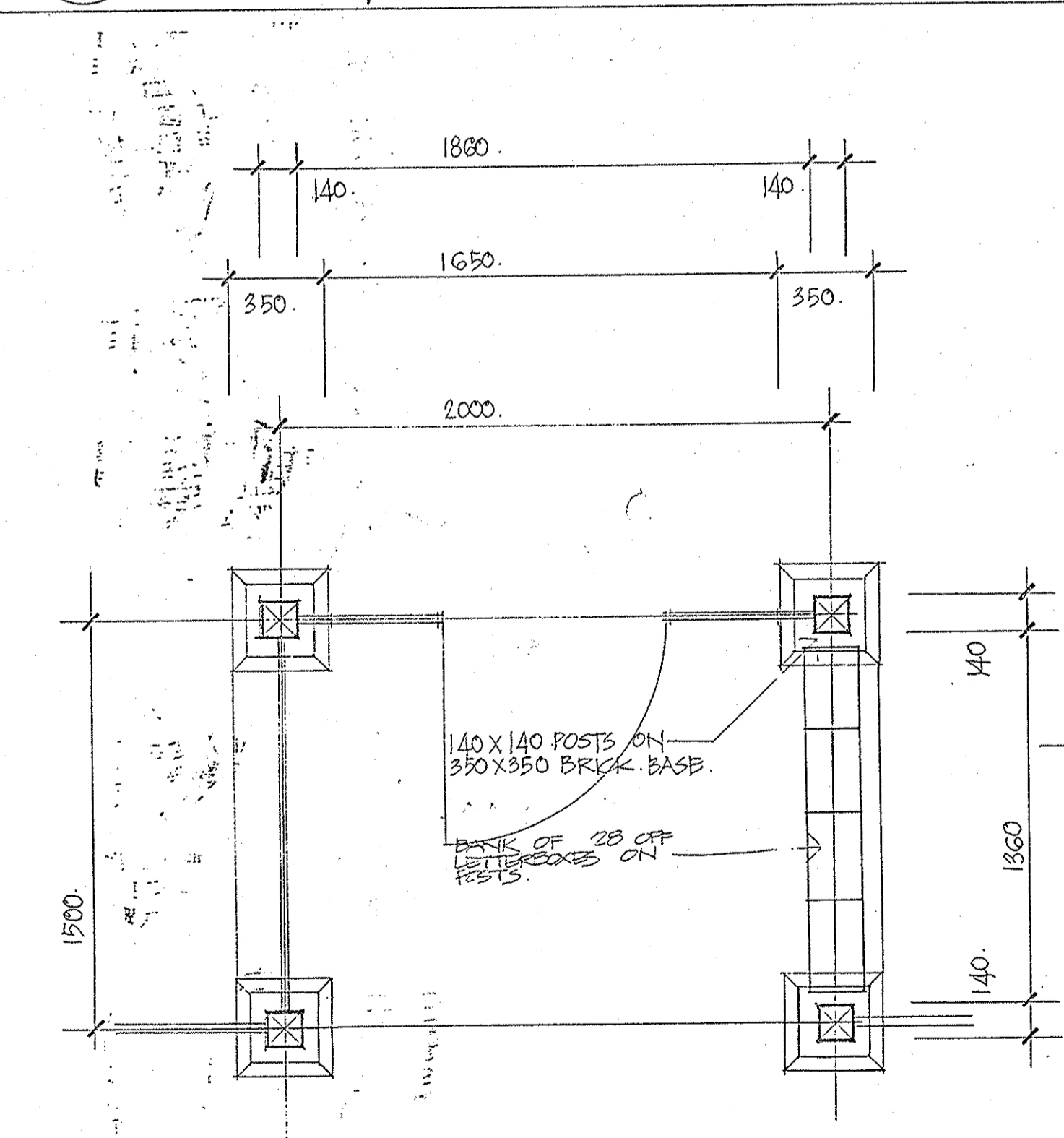
4 SCALE 1:2



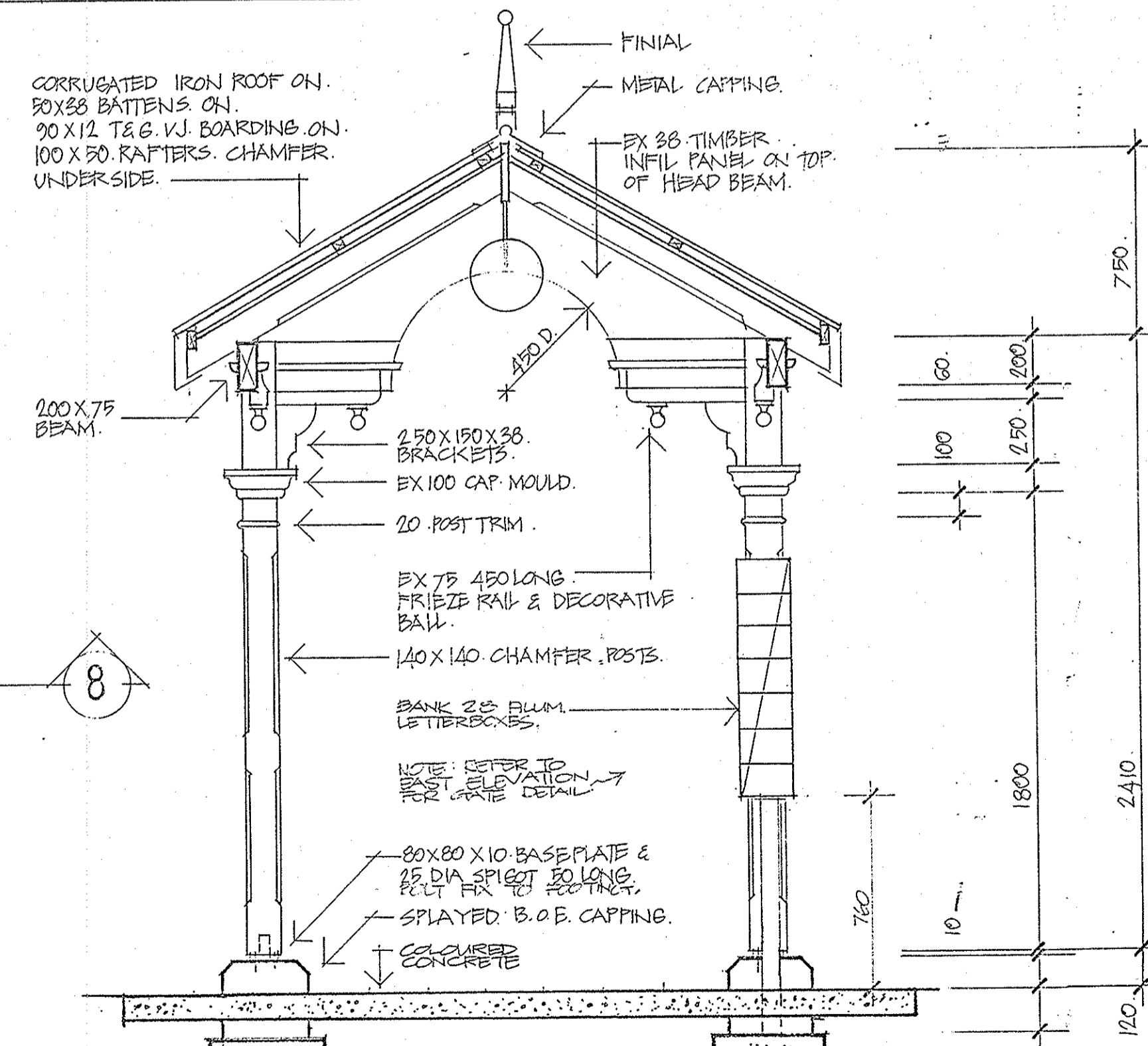
5 ELEVATION 1:20 balcony unit 13 block A



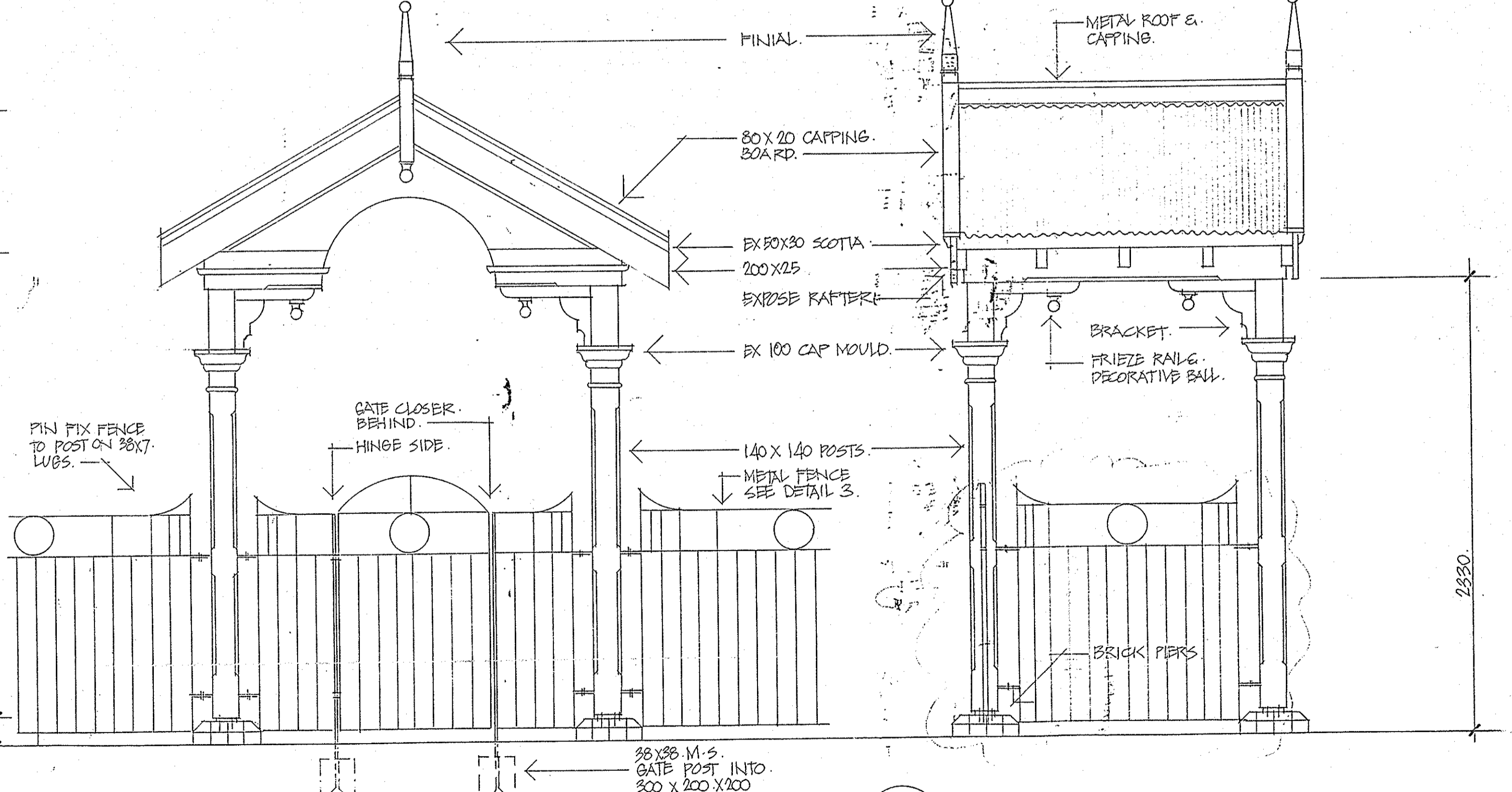
6 SECTION 1:20



7 PLAN OF PORTICO 1:20 pitwater road entry



8 SECTION 1:20



9 EAST 1:20 WEST SIMILAR

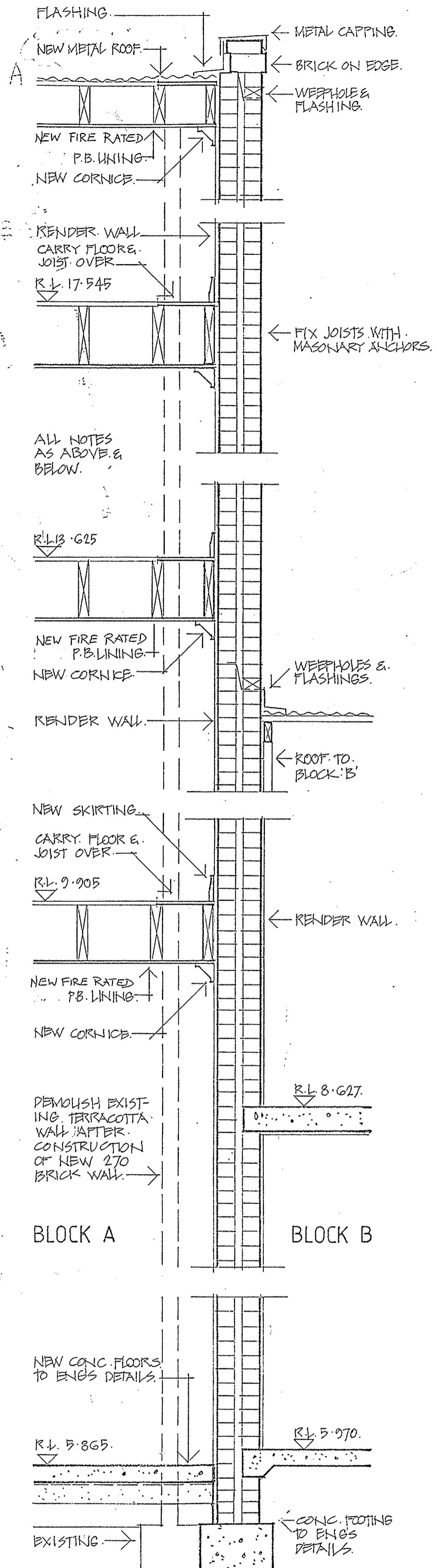
10 SOUTH ELEVATION (NORTH SIMILAR)

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

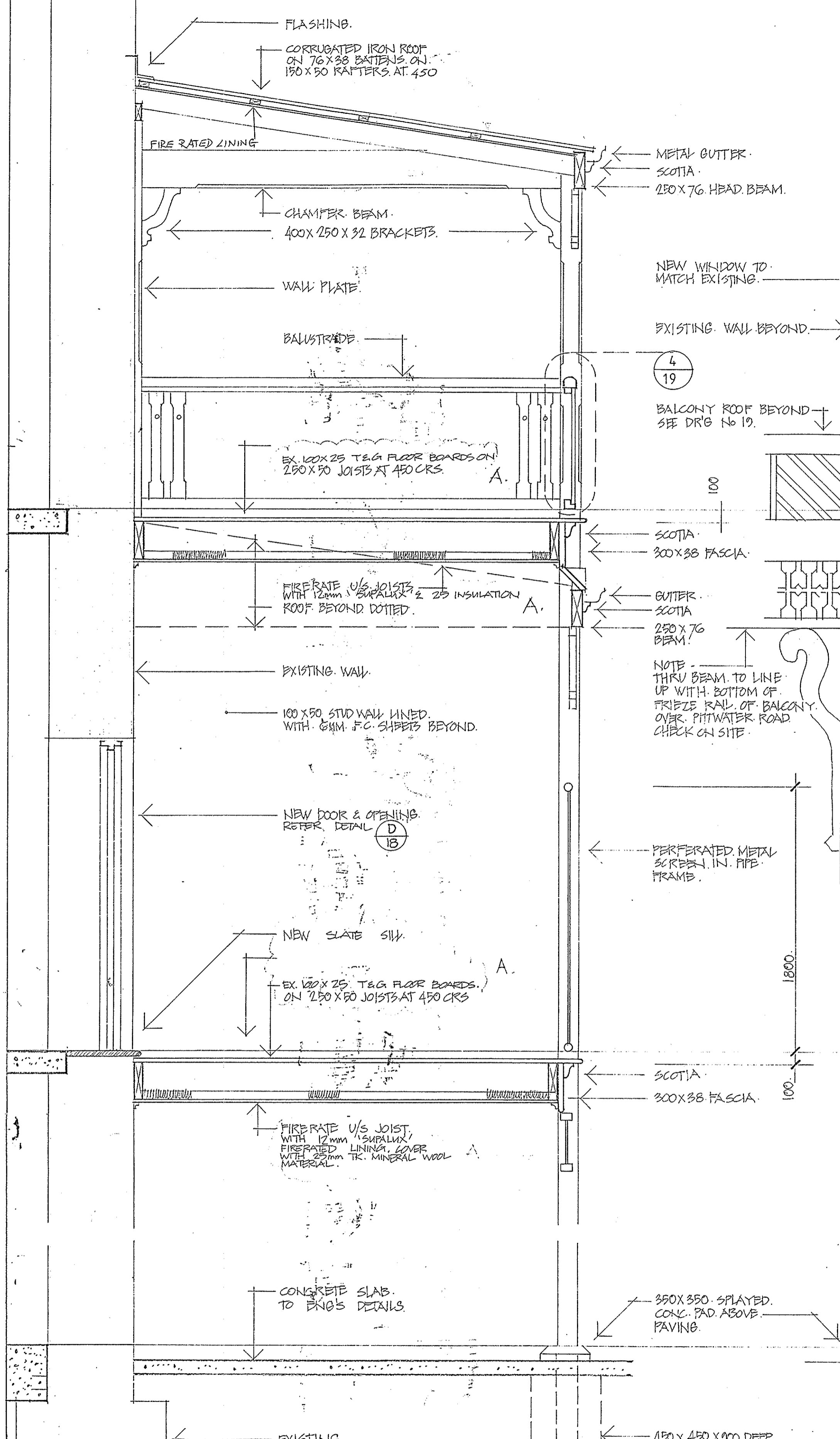
REHABILITATION AND INFILL HOUSING
61-63 PITWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
67 MERIDIAN STREET
CHATSWOOD NSW 2067
TELEPHONE 419 7259

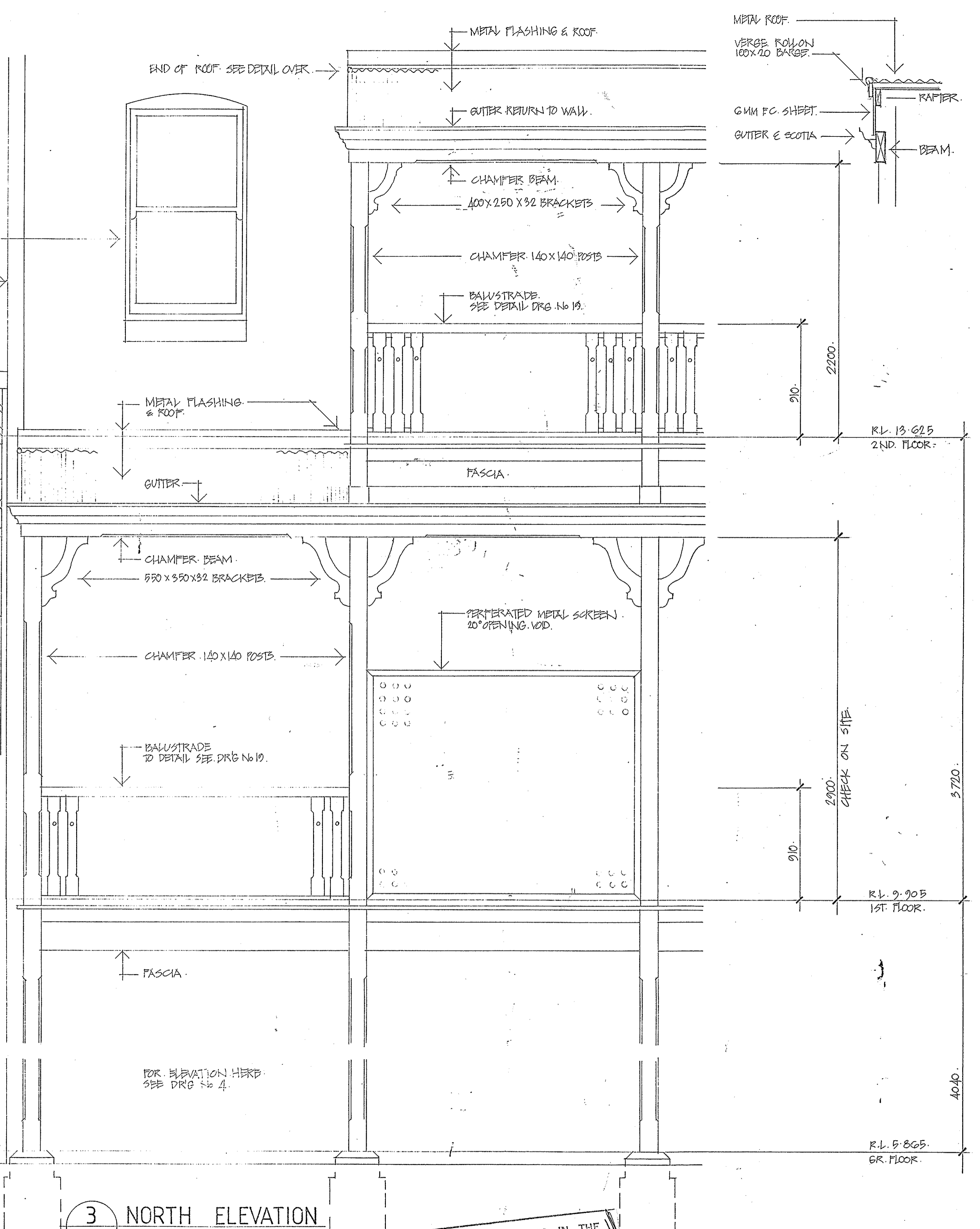
BALCONY & PORTICO DETAILS
NOV 91
SCALE 1:20
DRAWING NO. A19



1 SECTION 1:20



2 SECTION 1:20



3 NORTH ELEVATION 1:20

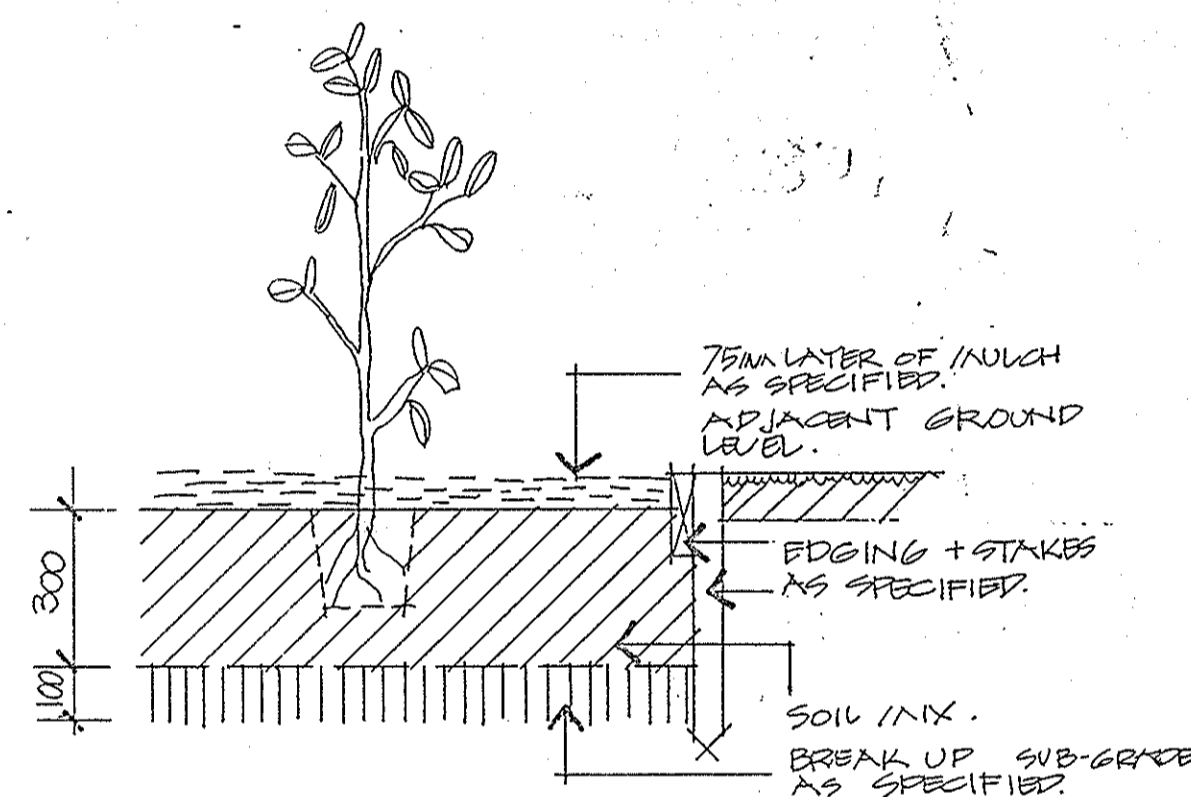
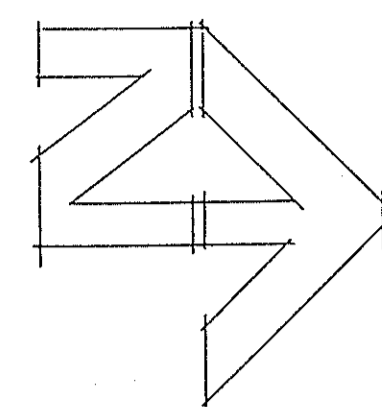
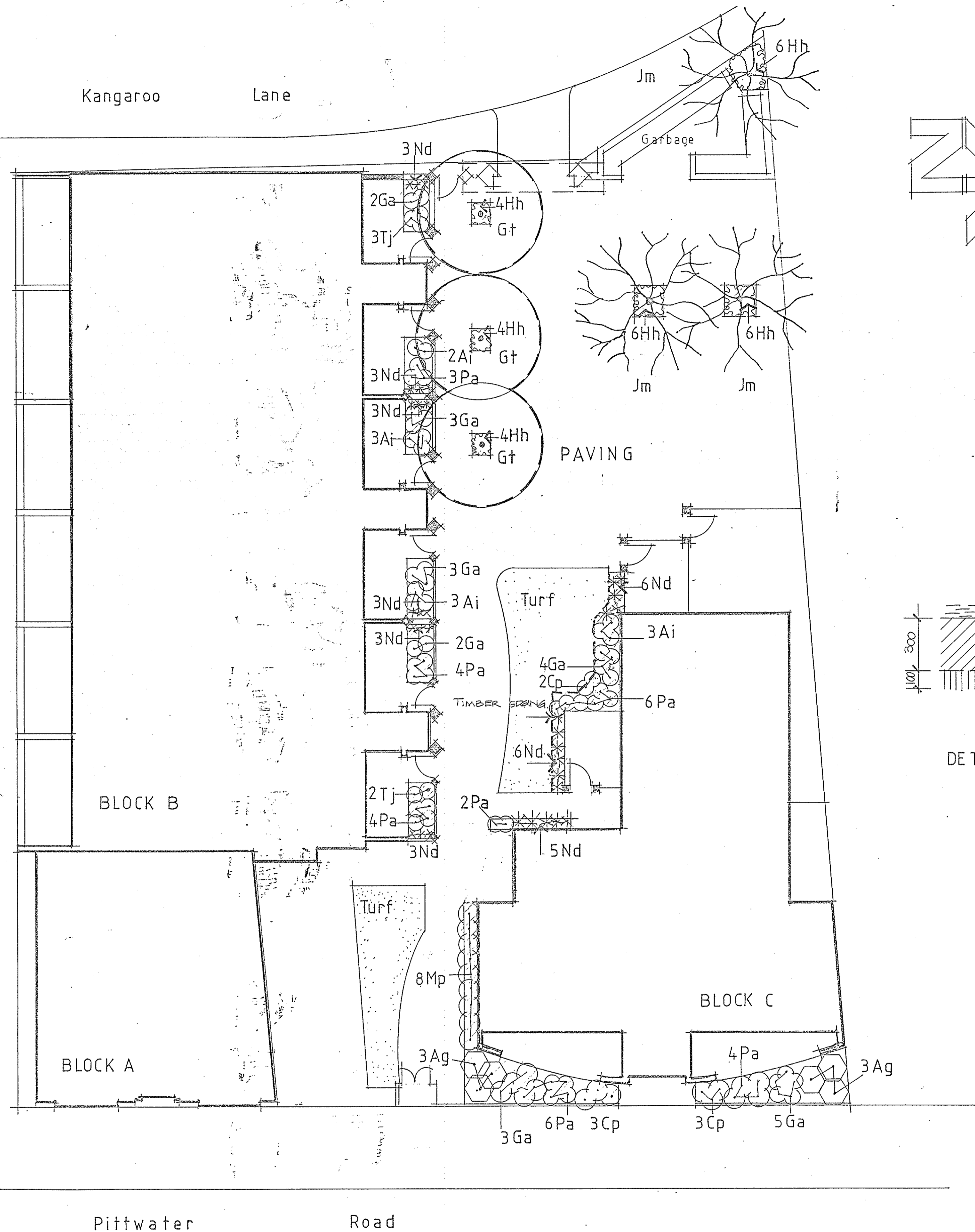
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

REHABILITATION AND INFILL HOUSING
61-63 PITTWATER RD
MANLY FOR THE
DEPARTMENT OF HOUSING

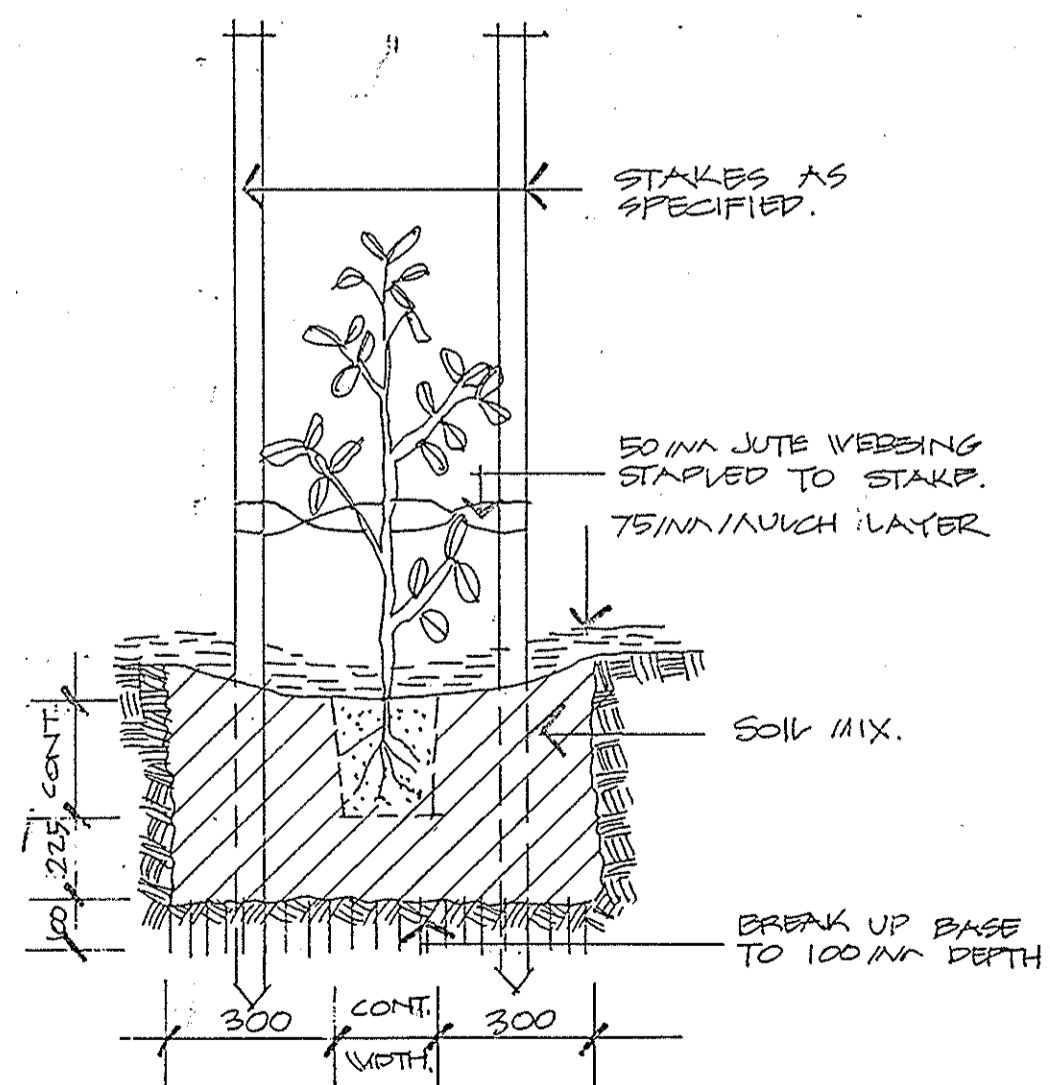
INNOVAC DYER ARCHITECTS
CHATSWOOD VILLAGE
47 NENDAH STREET
CHATSWOOD 2097
TELEPHONE 419 7299
INTERIOR ARCHITECTS

| | | | |
|--|-------------------|----------|------------------|
| A. Note add to Block form finish changes. | | 20/11/93 | DATE |
| ISSUE NO. | 25/08/00101.02.03 | NOV 91 | SCALE 1:20 |
| DRAWING NO. | RE | NOV 91 | ISSUE NO. A. A20 |
| FOUR DIMENSIONS TO BE USED IN PREFERENCE TO SCALING OF DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. | | | |

Kangaroo Lane



DETAIL: MASS PLANTED AREA



DETAIL: SINGLE PLANTING

PLANTING SCHEDULE

| Symbol | Species | Size | Quantity |
|----------------------|-----------------------|----------|----------|
| TREES | | | |
| Gt | Gleditsia triacanthos | 75 litre | 3 |
| Jm | Jacaranda mimosifolia | 75 litre | 3 |
| SHRUBS | | | |
| Ag | Abelia grandiflora | 5 litre | 6 |
| Ai | Azalea indica | 5 litre | 11 |
| Cp | Coleonema pulchrum | 5 litre | 8 |
| Ga | Gardenia augusta | 5 litre | 22 |
| Nd | Nandina domestica | 5 litre | 35 |
| Mp | Murraya paniculata | 5 litre | 8 |
| Pa | Plumbago auriculata | 5 litre | 29 |
| Tj | Tibouchina 'jules' | 5 litre | 5 |
| GROUND COVERS | | | |
| Hh | Hedra helix | 150 pots | 30 |

NOTES:

DRAWINGS

The Landscape plan is to be read in conjunction with the architectural drawings and the specification.

CHANGES

No changes are to be made to the nominated species in the planting schedule without prior approval of the Superintendent. Vargated species are not acceptable.

SERVICES

Before commencing work the Contractor shall establish the position of all underground services. Tree planting shall be at least 2metres from any services.

Service lids, vents, covers and hydrants shall be left exposed and not covered by any landscape finishes.

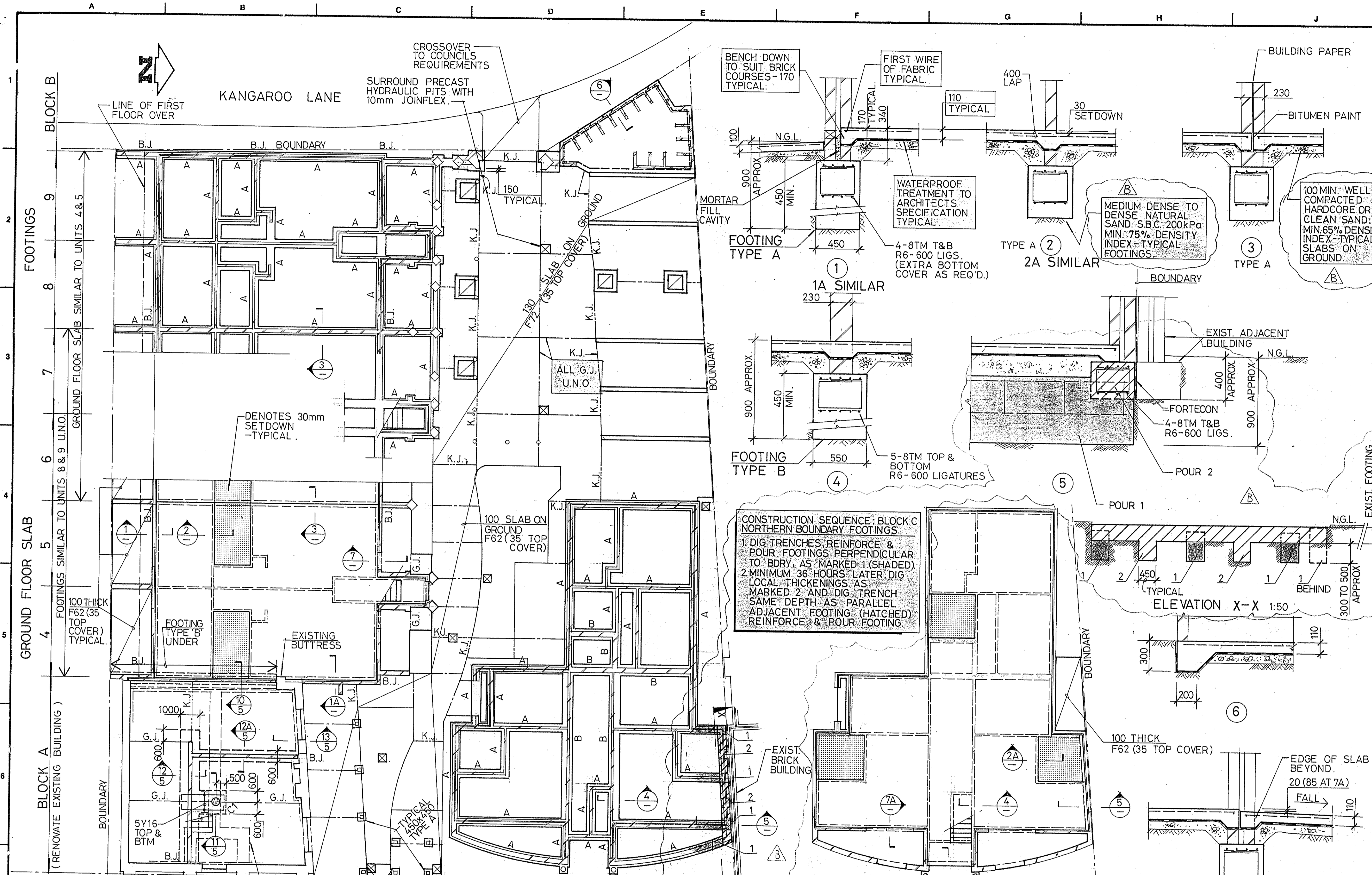
REHABILITATION + INFILL HOUSING
61-63 Pittwater Road Manly
for
THE DEPARTMENT OF HOUSING

LANDSCAPE PLAN

ROD CROSWELLER BArch. Grad.Dip.L.D.
Architect - Landscape Architect
171A Victoria Road West Pennant Hills 2125
Telephone 02-4819342.

SCALE 1:100
DATE: NOVEMBER 1991
DRAWING NO: L1

THIS IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT



CONSTRUCTION NOTES:
 GENERAL:
 G1 This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of the construction. Any discrepancy or variation shall be referred to the Engineer before proceeding with the work.
 G2 All materials and workmanship shall be in accordance with the relevant and current S&A codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification.
 G3 All dimensions relevant to setting out and off-site work shall be verified before construction and fabrication is commenced.
 G4 Dimensions shall not be obtained by scaling the structural drawings.
 G5 During construction the structure shall be maintained in a stable condition and no part shall be over-stressed. Temporary bracing shall be provided by the builder to keep the works and excavations stable at all times.
 G6 The structural elements shown on these drawings have been designed in accordance with the relevant S&A codes for superimposed loads as follows:
BALCONIES & STAIRS - 3.0 kPa
OTHER - 2.0 kPa
 Wind Loads are in accordance with AS 1170 as follows:
 Basic Wind Velocity, $V_B = 41$
 Terrain Category 2
 The relevant provisions of AS 2121 have been applied for earthquake zone 0.
CONCRETE:
 C1 All workmanship and materials shall be in accordance with current editions of AS 1480 except as varied by the contract documents.
 C2 Concrete components and quality shall be as follows -

| BUILDING ELEMENT | FTGS./S.O.G. | OTHER |
|----------------------|-------------------|---------------|
| F ^c | 25 | 40 |
| Max. agg. size | 20 | 20 |
| Slump | mm | 80 |
| Cement type | | A |
| Min. cement content | kg/m ³ | |
| Admixtures | | NIL |
| Control-testing type | | PLANT PROJECT |

C3 Minimum clear cover to reinforcement, tie bars and embedments shall be as follows unless noted otherwise for higher fire resistance, simply supported slabs and beams. Covers as shown comply with -
 Internal exposure classification: A1
 External exposure classification: B2
 Fire resistance rating: 1 Hour

| ELEMENT | EXPOSURE | INTERNAL/EXTERNAL |
|---|----------|-------------------|
| SLAB & SLABBANDS: TOP | 20 | 20 |
| BEAMS: TOP | 30 | 30 |
| WALLS: SOFFIT, SIDES | 30 | 45 |
| COLUMNS | 40 | 40 |
| FOOTINGS: FORMED | 50 | 50 |
| MEMBERS OTHER THAN FOOTINGS, CAST AGAINST DAMP-PROOF MEMBRANE AGAINST GROUND. | 50 | 50 |
| MEMBERS OTHER THAN FOOTINGS, CAST AGAINST DAMP-PROOF MEMBRANE AGAINST GROUND. | 40 | 40 |

C4 Construction joints shall be properly formed and located only where shown or specifically approved by the Engineer.
 C5 No holes, chases or embedment of pipes, other than those shown on the structural drawings, shall be made in concrete members without the prior approval of the Engineer.
 C6 Splices in reinforcement shall be made only in the positions as shown or as otherwise approved by the Engineer. Minimum lap for all rebars shall be one mesh plus 50 mm.
 C7 Internal reinforcement is shown dimensionally. It is not necessarily shown in true projection.
 C8 All reinforcement shall be to AS 1300. Symbols: F wire reinforcing fabric, R structural grade round bar, S structural grade deformed bar, Y 410Y grade deformed bar. Designation code of reinforcement bars as in example:
 No. of bars in group: 17
 bar grade and type: Y20 - 20
 spacing in mm: 175
 U.N.O. denotes "unless noted otherwise."
 C9 Where TRANSVERSE TIE - BARS are not shown provide Y12-300 splices where necessary and lap with main bars 400 mm.
 C10 Welding of reinforcement shall not be permitted unless shown on the structural drawings or approved by the Engineer.
 C11 All concrete shall be placed and "cured" in accordance with Section 7 AS 1480. Where curing compound is used it must be applied to the surface within 2 hours of finishing operation (b) onto walls and columns immediately after removal of formwork.
 C12 Horizontal formwork shall be stripped when approved by the Engineer.
 C13 Slabs and beams shall bear only on the beams, walls, etc. shown on the drawings, all other building elements shall be 15 mm clear from soffits of structure.
FOUNDATIONS:
 F1 All foundation material shall be approved for 200 kPa uniform pressure before placement of concrete in footings. Footings on boundaries have been designed for a reduced bearing pressure in accordance with Ordinance No. 70.
 F2 Footings near boundaries must not be located either higher or lower than the footings of adjacent properties, unless specifically approved otherwise by the Supervising Engineer.
 F3 Footings shall be located centrally under walls and columns unless noted otherwise.
MASONRY:
 M1 Where slabs or beams bear on masonry, the top course shall be level, smooth and covered with approved sliding joint material unless noted otherwise.
 M2 No masonry walls to be erected on suspended slabs and beams until all propping has been removed.
 M3 Bricks used in loadbearing construction shall have minimum compressive strength as per AS 12263 of 20 MPa unless noted otherwise.
 M4 All brickwork supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete.
 M5 No chases or recesses are permitted in load bearing masonry without the approval of the Engineer.
 M6 Provide vertical control joints at 8 m maximum centres.
 M7 Non load bearing walls shall be separated from concrete above by 10 mm thick approved compressible material.
FIRE RESISTANCE RATING as detailed: 1 HOUR

CONSTRUCTION SEQUENCE: BLOCK C NORTHERN BOUNDARY FOOTINGS
 1. DIG TRENCHES; REINFORCE & POUR FOOTINGS PERPENDICULAR TO BDRY, AS MARKED 1 (SHADED).
 2. MINIMUM 36 HOURS LATER, DIG LOCAL THICKENINGS AS MARKED 2 AND DIG TRENCH SAME DEPTH AS PARALLEL ADJACENT FOOTING (HATCHED) REINFORCE & POUR FOOTING.

| ISSUE | AMENDMENT | BY | DATE |
|-------|---------------------------------------|------|----------|
| B | FOOTING & GROUND PREPARATION AS NOTED | J.R. | 15/12/92 |
| A | ISSUED FOR CONSTRUCTION | J.R. | 15/6/92 |

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MATEFFY-PERL-NAGY PTY LTD.
 CONSULTING ENGINEERS ACN 000 766 978
 5 HARBOURVIEW CR, MILSONS POINT, 2061, N.S.W. AUSTRALIA. TEL: (02) 928-7144.

ARCHITECTS: PH: (02) 419 7299

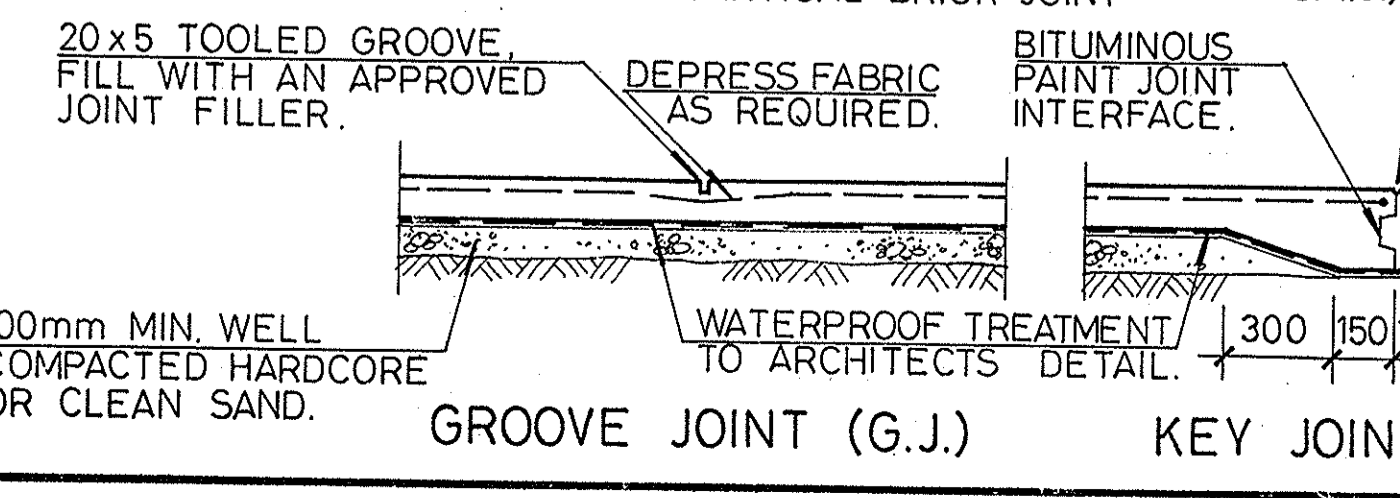
INNOVAC DYER PTY LTD.
 PROPOSED HOUSING AT:
 61-63 PITTWATER ROAD,
 MANLY, FOR THE DEPARTMENT OF HOUSING. JOB NO DH 25/108/1,2 & 3.

FOOTINGS & GROUND FLOOR PLAN & DETAILS

| DESIGN: | P.M.A. | DRAWN: | J.R. | SCALE: | 1:100, 20 |
|---------|---------|------------|---------|-------------|-----------|
| CHKD: | | No. IN SET | mpn JOB | DRAWING No. | |
| APPRD: | | 5 | 6459 | 1B | |
| DATE: | 11-2-92 | | | | |

UNITS 4 TO 9 - BLOCKS A & B

FOOTINGS & GROUND FLOOR PLAN
 110 THICK SLAB REINF'T F72 (30 TOP COVER)
 B.J. DENOTES VERTICAL BRICK JOINT



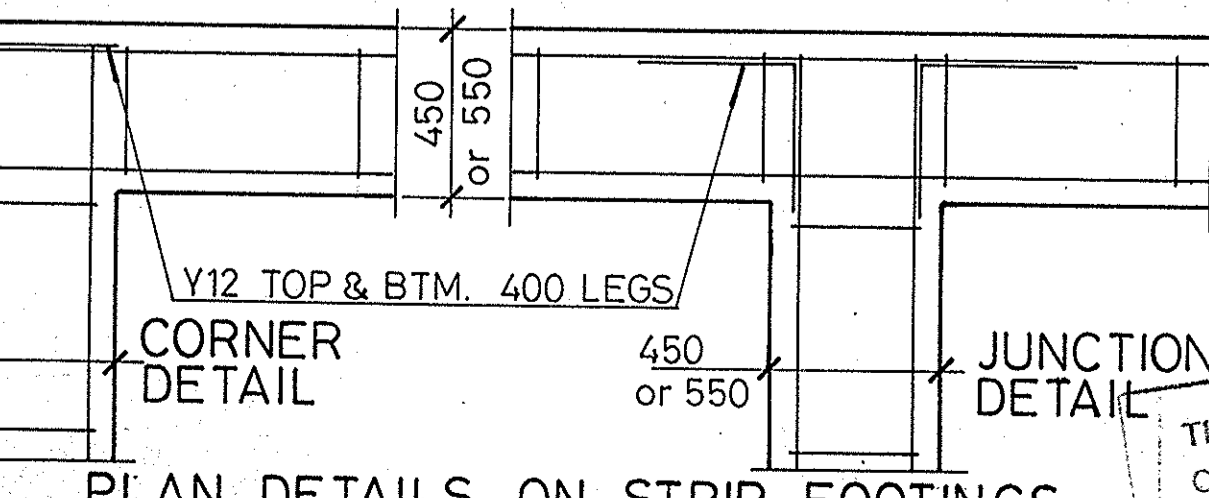
UNITS 1 TO 3 - BLOCK C

FOOTING LAYOUT
 TOOLED EDGES FILL WITH APPROVED FILLER.
 FIRST WIRE OF FABRIC. 3 EQUAL SPACES.

REFER TO LONGWORTH & MCKENZIE PTY. LTD. REPORT NO: YGT 0188/PC/CD/d2 OF 28.4.87. AND GRANT ALEXANDER & ASSOC PTY LTD REPORT NO 5321/01 OF 29.9.92. FOR SITE INVESTIGATIONS. REFER SPECIFICATION 03 'EXCAVATOR & LABOURER' FOR FOUNDATION AND GROUND PREPARATION.

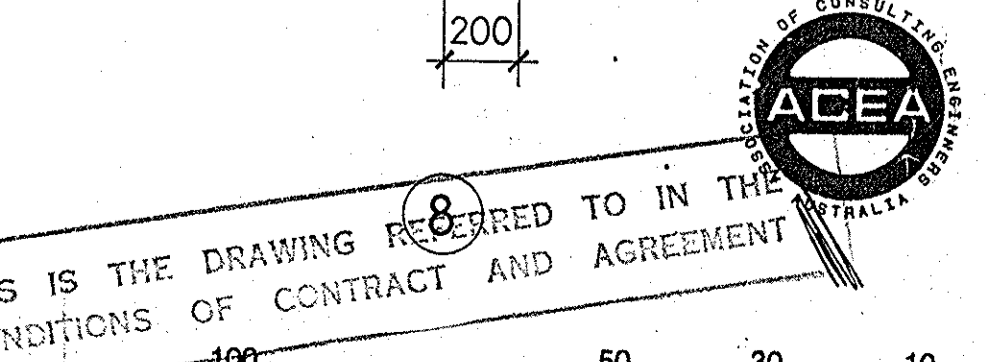
UNITS 1 TO 3 - BLOCK C

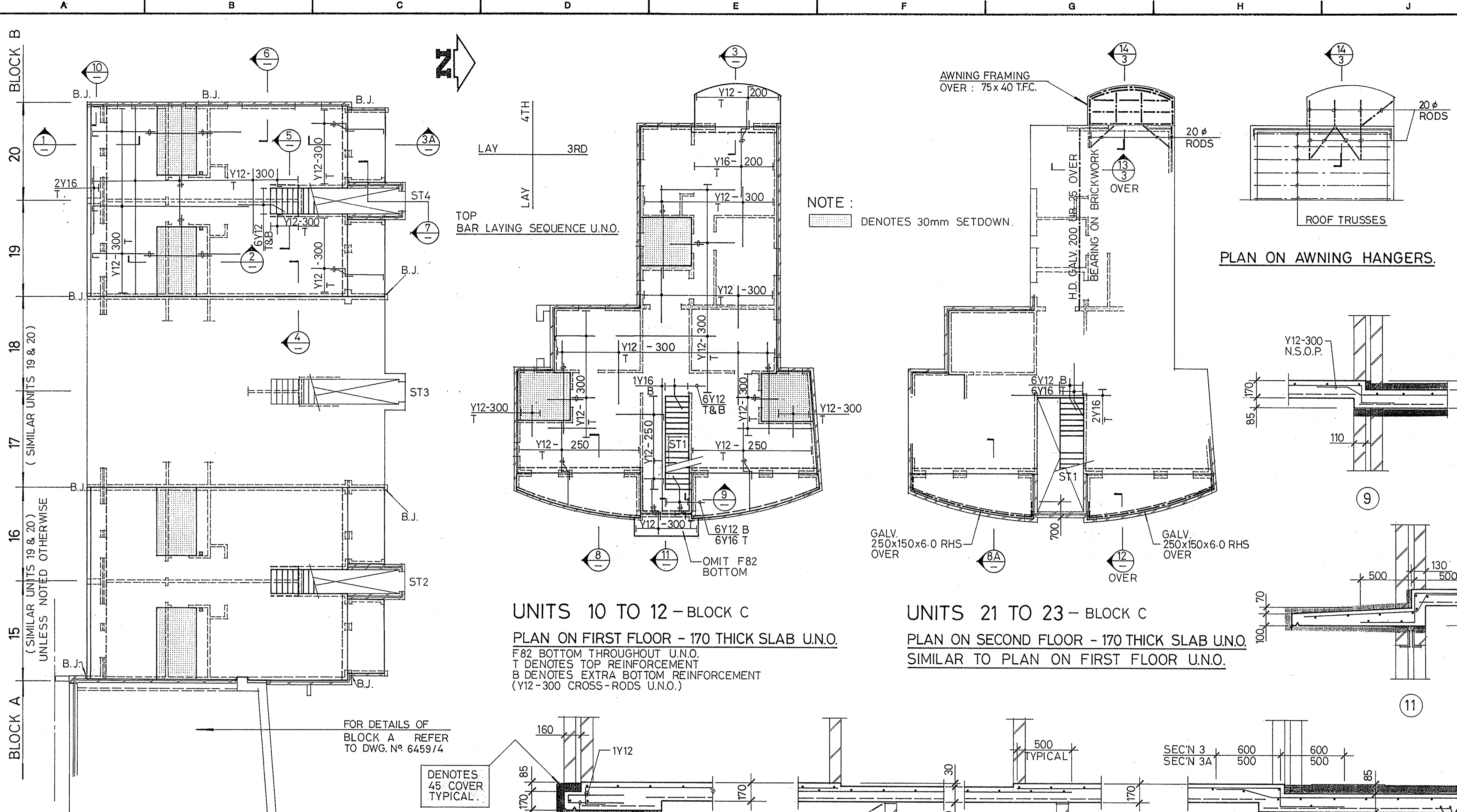
PLAN ON GROUND FLOOR - 110 THICK SLAB
 REINF'T F72 (30 TOP COVER)



UNITS 1 TO 3 - BLOCK C

7A SIMILAR AS NOTED

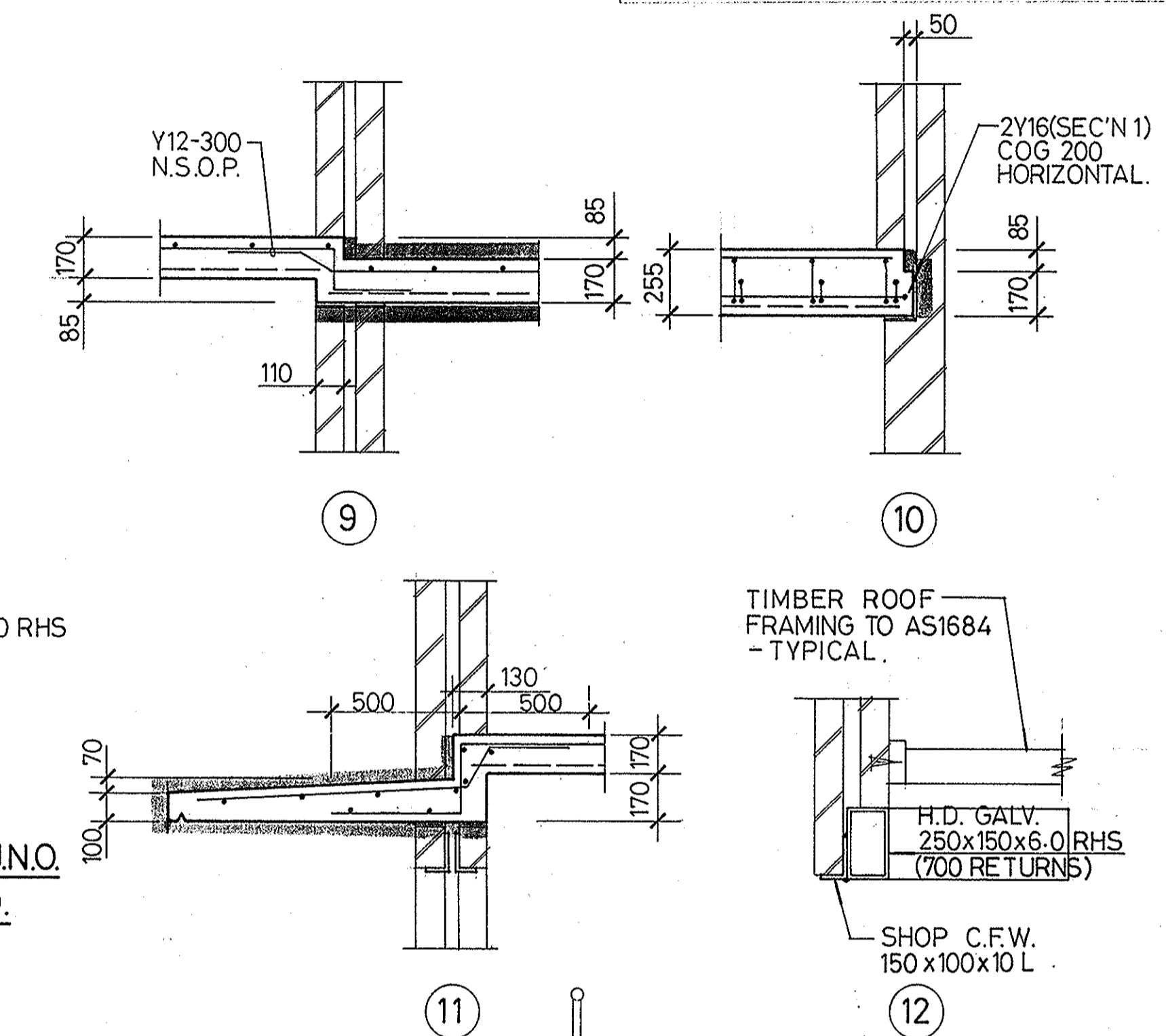




- NOTES :**
- REFER TO DRAWING No 6459/1 FOR ALL RELEVANT CONSTRUCTION NOTES.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DWG No 3
 - REFER TO ARCHITECT'S DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES.
 - SUPERIMPOSED DESIGN LOADS.
DEAD LOAD : — kPa
LIVE LOAD : 3 kPa BALCONIES, STAIRS
2 kPa OTHER
 - CONCRETE STRENGTH $F'_{c} = 40 \text{ MPa}$
 - FIRE RESISTANCE RATING = 1 HOURS
 - COVER TO REINFORCEMENT :
EXTERNAL EXPOSURE CLASSIFICATION : B2

| ELEMENT | EXPOSURE | |
|------------------------|----------|----------|
| | INTERNAL | EXTERNAL |
| SLAB & SLABBANDS : TOP | 20 | 45 |
| BEAMS : TOP | N/A | |
| : SOFFIT, SIDES | | |

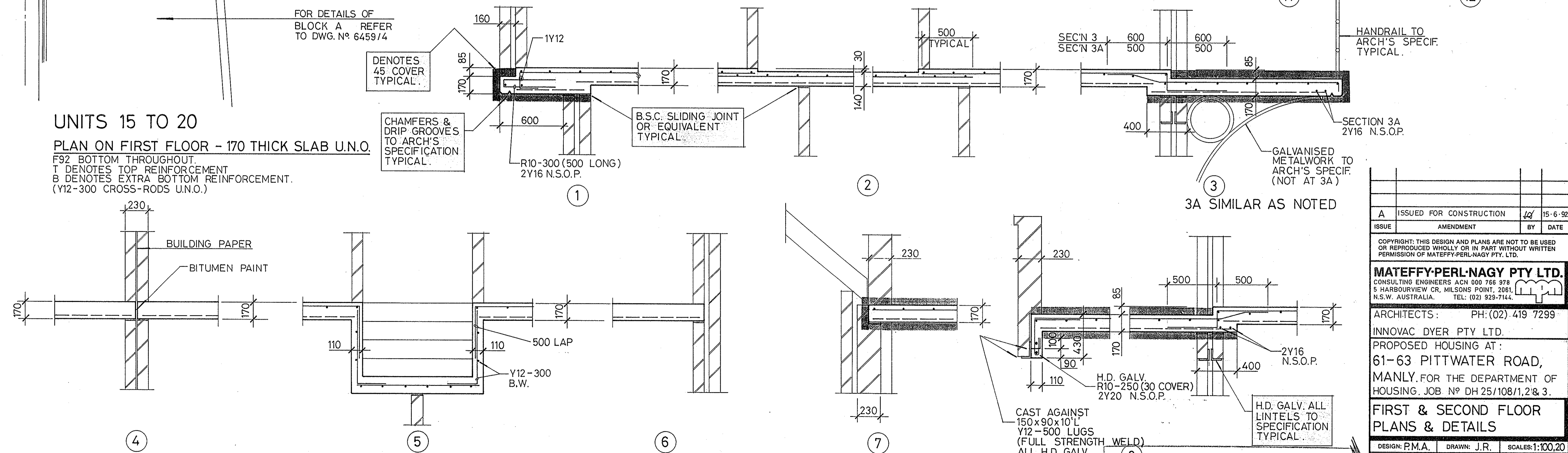
PLAN ON AWNING HANGERS.



UNITS 10 TO 12 - BLOCK C
PLAN ON FIRST FLOOR - 170 THICK SLAB U.N.O.
 F82 BOTTOM THROUGHOUT U.N.O.
 T DENOTES TOP REINFORCEMENT
 B DENOTES EXTRA BOTTOM REINFORCEMENT
 (Y12-300 CROSS-RODS U.N.O.)

UNITS 21 TO 23 - BLOCK C
PLAN ON SECOND FLOOR - 170 THICK SLAB U.N.O.
 SIMILAR TO PLAN ON FIRST FLOOR U.N.O.

UNITS 15 TO 20
PLAN ON FIRST FLOOR - 170 THICK SLAB U.N.O.
 F92 BOTTOM THROUGHOUT.
 T DENOTES TOP REINFORCEMENT
 B DENOTES EXTRA BOTTOM REINFORCEMENT.
 (Y12-300 CROSS-RODS U.N.O.)



| ISSUE | AMENDMENT | BY | DATE |
|-------|-------------------------|----|---------|
| A | ISSUED FOR CONSTRUCTION | JR | 15-6-92 |

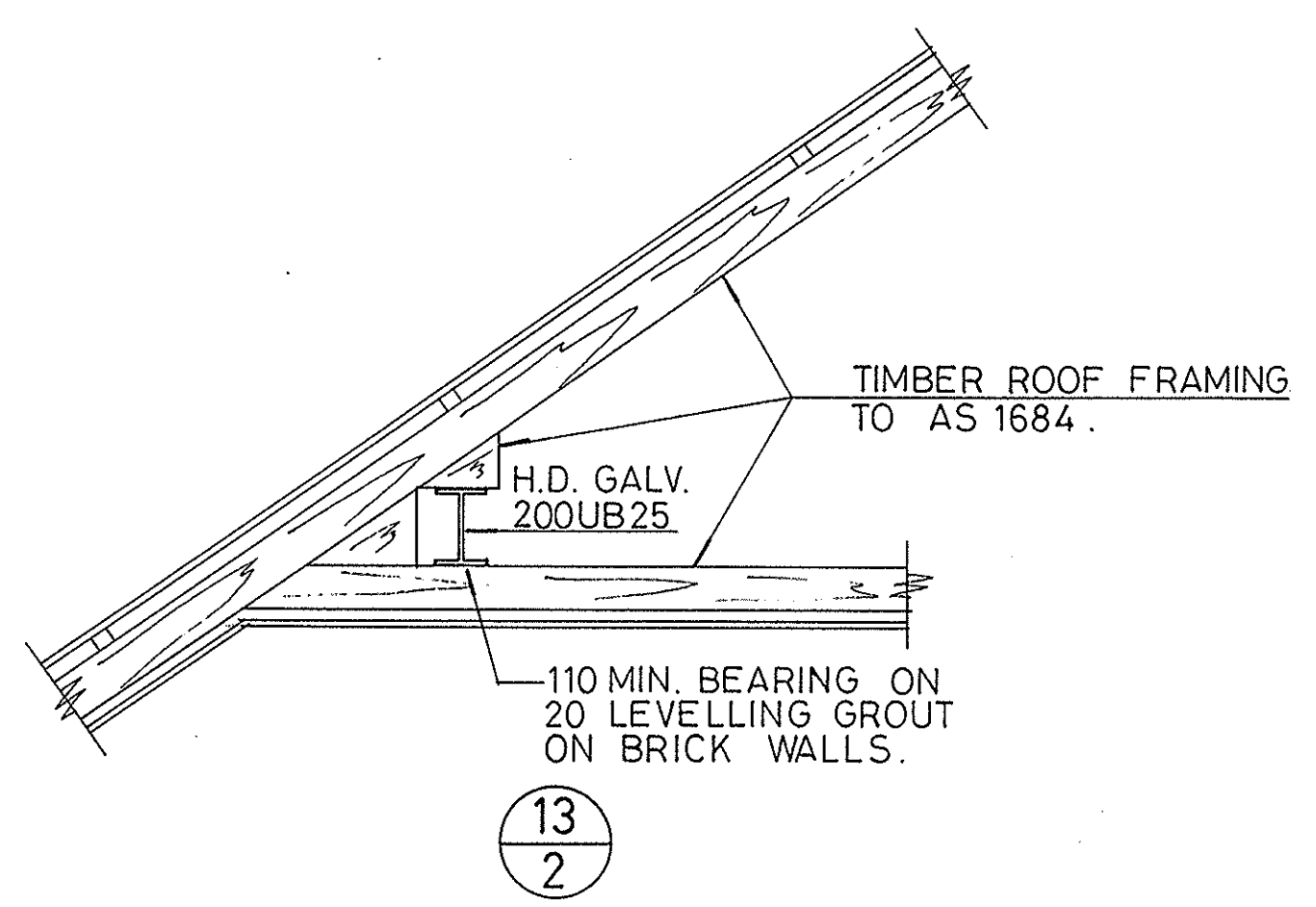
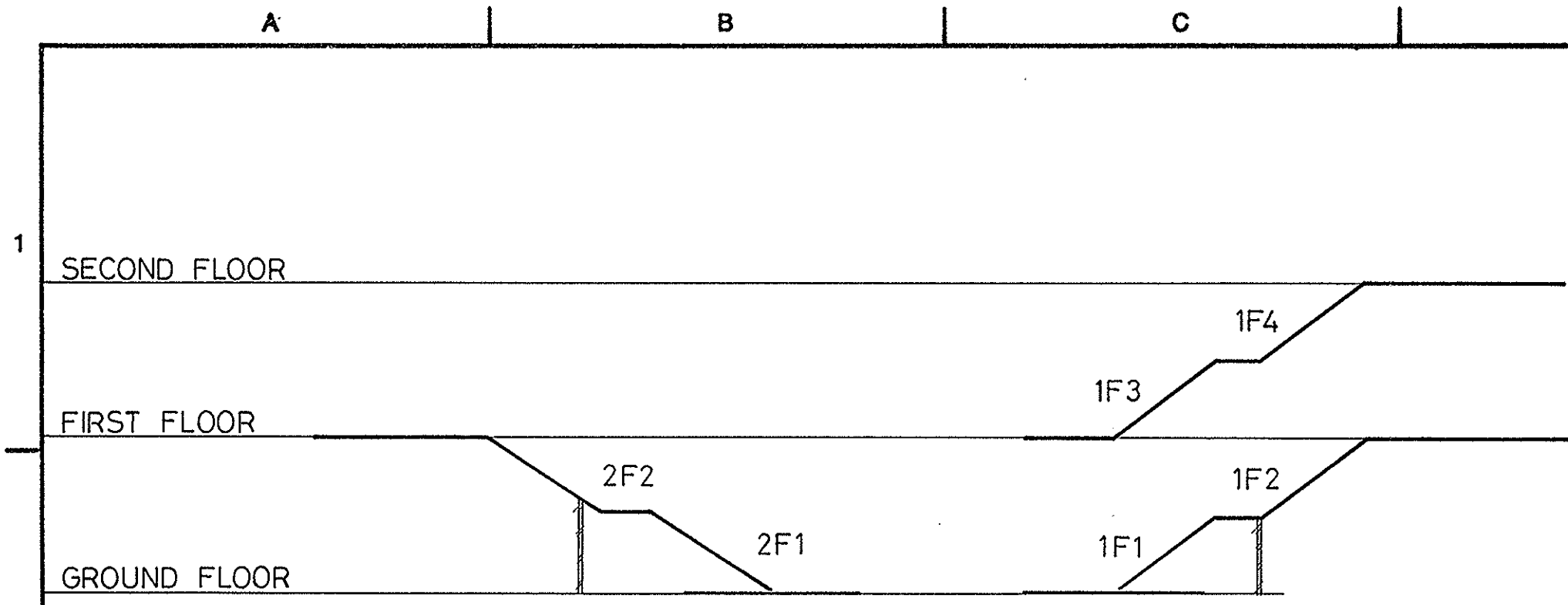
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 CONSULTING ENGINEERS ACN 000 766 978
 5 HARBOURVIEW CR, MILSONS POINT, 2061,
 N.S.W. AUSTRALIA. TEL: (02) 929-7144.

ARCHITECTS: PH: (02) 419 7299
 INNOVAC DYER PTY LTD.
 PROPOSED HOUSING AT:
 61-63 PITTWATER ROAD,
 MANLY. FOR THE DEPARTMENT OF
 HOUSING. JOB No DH 25/108/1,2&3.

**FIRST & SECOND FLOOR
 PLANS & DETAILS**

| | | |
|--------------------|-------------|------------------|
| DESIGN: P.M.A. | DRAWN: J.R. | SCALE: 1:100, 20 |
| CHKD: [Signature] | No. IN SET | mpn JOB |
| APPRD: [Signature] | | DRAWING No. |
| DATE: 11-2-92 | | 6459 2A |

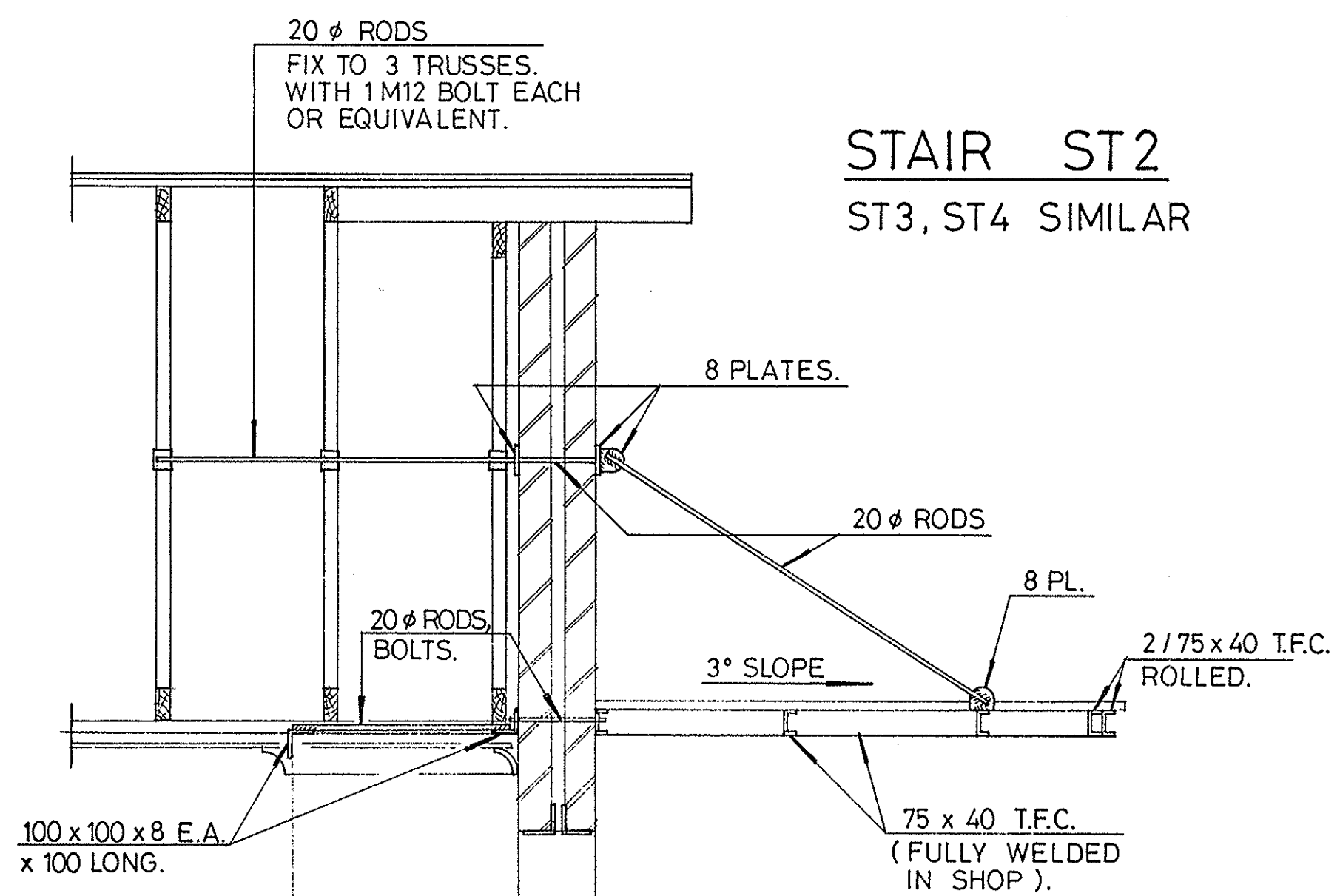
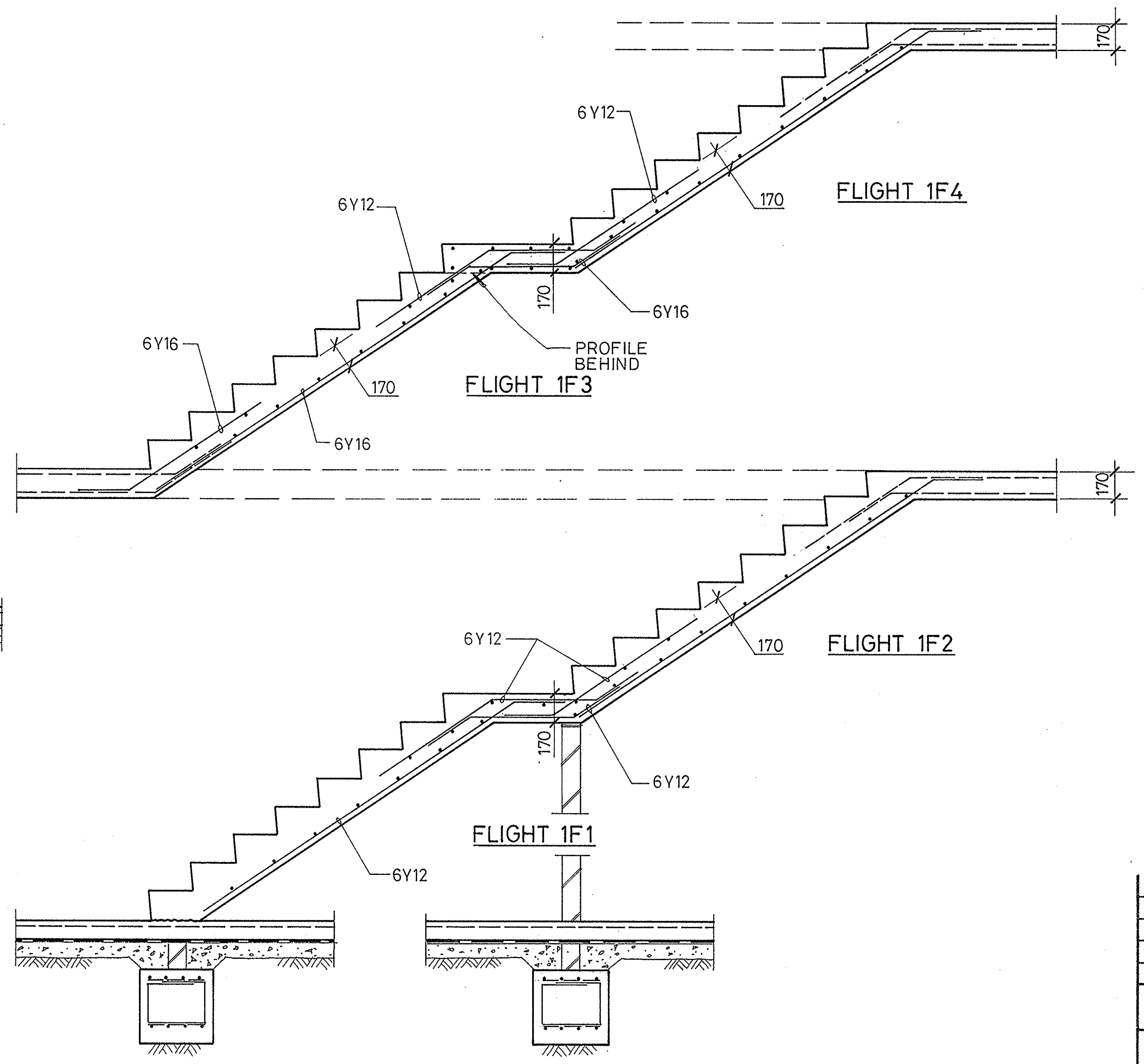
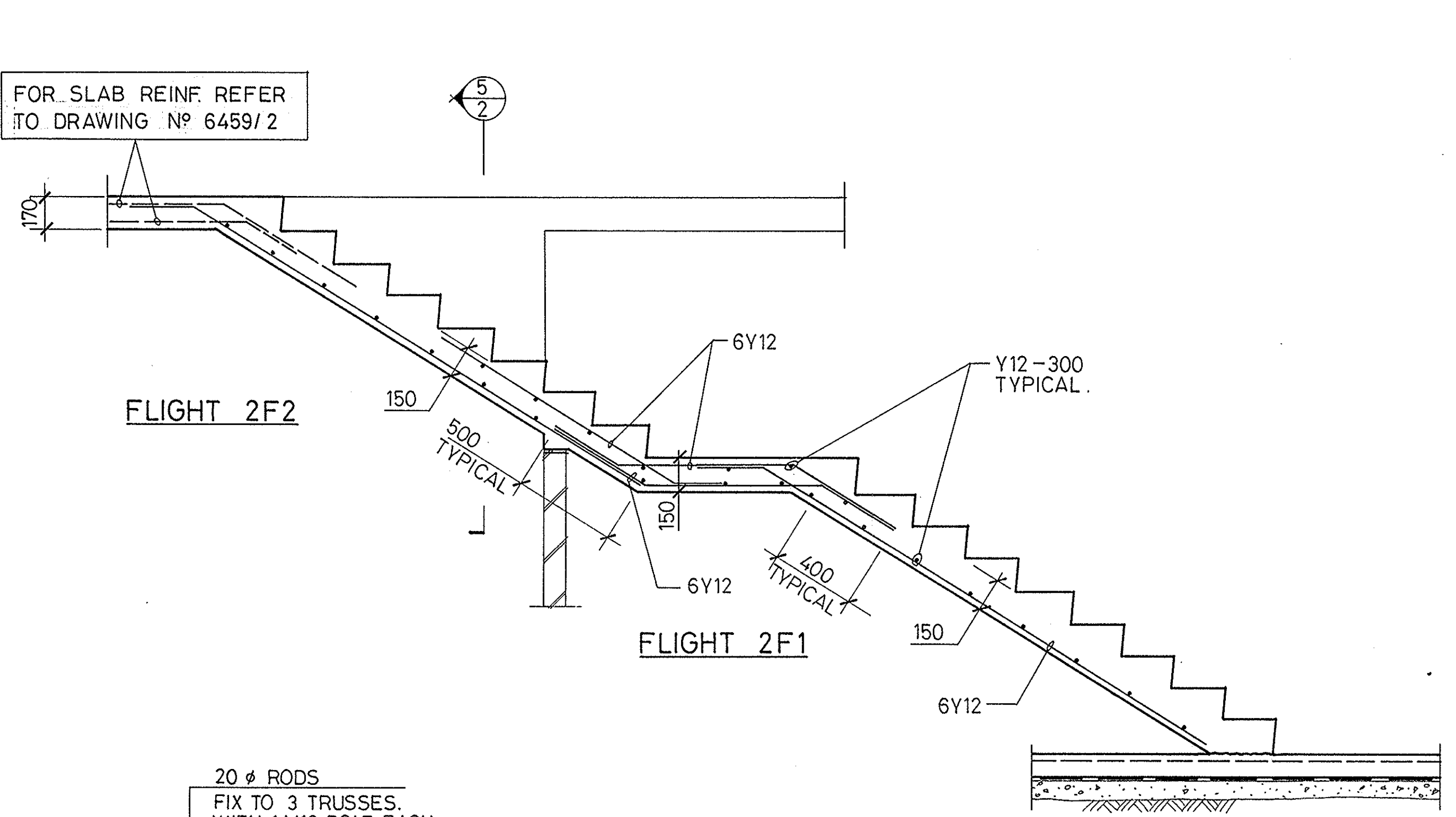
IS THE DRAWING REFERRED TO IN THE
 8A SIMILAR OF CONTRACT AND AGREEMENT



- NOTES :**
- 1) REFER TO DRAWING No 6459/1 FOR ALL RELEVANT CONSTRUCTION NOTES.
 - 2) THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DWG No 1 & 2
 - 3) REFER TO ARCHITECT'S DRAWINGS FOR ALL CHAMFERS, REBATES AND RECESSES.
 - 4) SUPERIMPOSED DESIGN LOADS.
DEAD LOAD : — kPa
LIVE LOAD : 3 kPa
 - 5) CONCRETE STRENGTH $f'c = 40 \text{ MPa}$
 - 6) FIRE RESISTANCE RATING = 1 HOURS
 - 7) COVER TO REINFORCEMENT :
EXTERNAL EXPOSURE CLASSIFICATION : B2

| ELEMENT | EXPOSURE | |
|------------------------|----------|----------|
| | INTERNAL | EXTERNAL |
| SLAB & SLABBANDS : TOP | 20 | 45 |
| : SOFFIT, SIDES | | |
| BEAMS : TOP | N/A | |
| : SOFFIT, SIDES | | |

FOR SLAB REINF REFER TO DRAWING No 6459/2



NOTE: ALL STEELWORK TO BE HOT DIP GALVANISED.

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

| | | | |
|-------|-------------------------|----|---------|
| ISSUE | AMENDMENT | BY | DATE |
| A | ISSUED FOR CONSTRUCTION | AO | 15-6-92 |

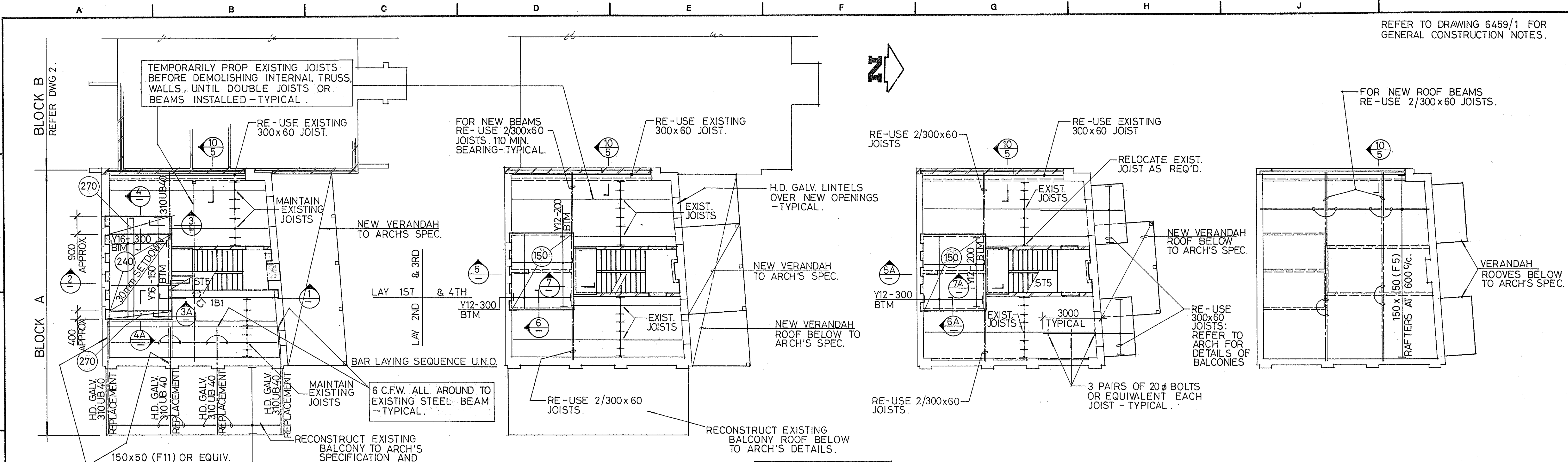
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MATEFFY-PERL-NAGY PTY LTD.
CONSULTING ENGINEERS ACN 000 766 978
5 HARBOURVIEW CR, MILSONS POINT, 2061, N.S.W. AUSTRALIA. TEL: (02) 929-7144.

ARCHITECTS: PH: (02) 419 7299
INNOVAC DYER PTY LTD.
PROPOSED HOUSING AT:
61-63 PITTWATER ROAD,
MANLY. FOR THE DEPARTMENT OF HOUSING. JOB No DH 25/108/1,2 & 3.

TYPICAL STAIR
DETAILS : ST1, 2, 3 & 4.

| | | |
|--------------------------|-------------|--------------------|
| DESIGN: P.M.A. | DRAWN: J.R. | SCALE: 1:100, 2:50 |
| CHKD: <i>[Signature]</i> | No. IN SET | mpn JOB |
| APPR: <i>[Signature]</i> | | DRAWING No. |
| DATE: 11-2-92 | | 6459 3A |



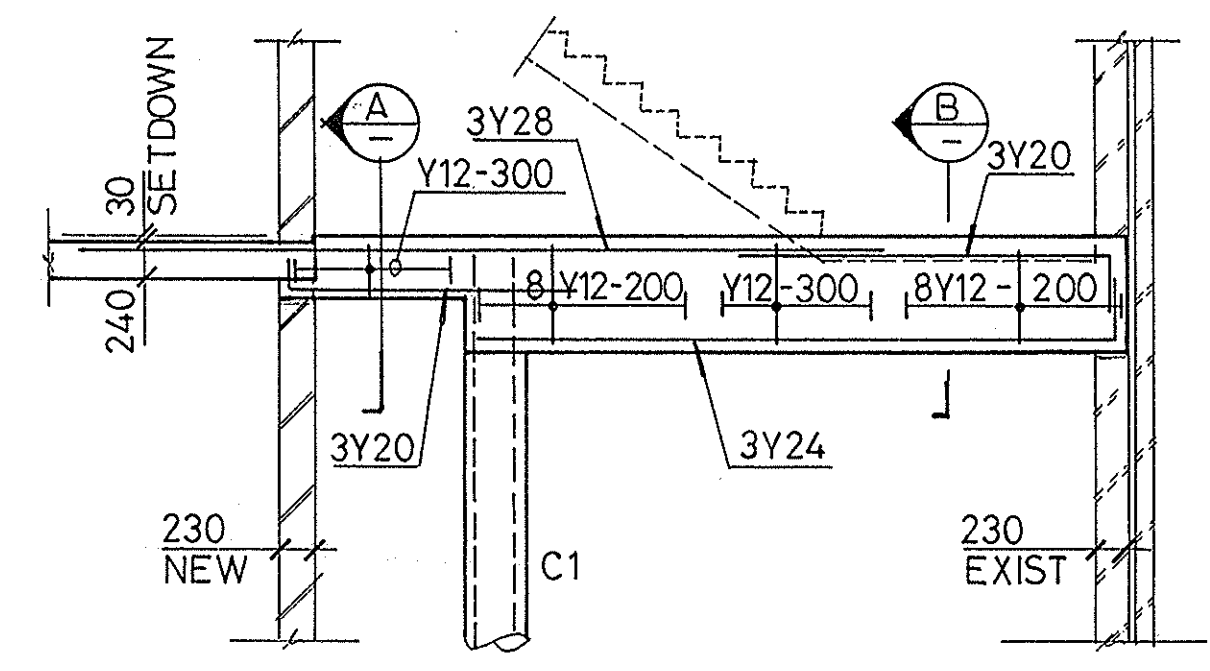
FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

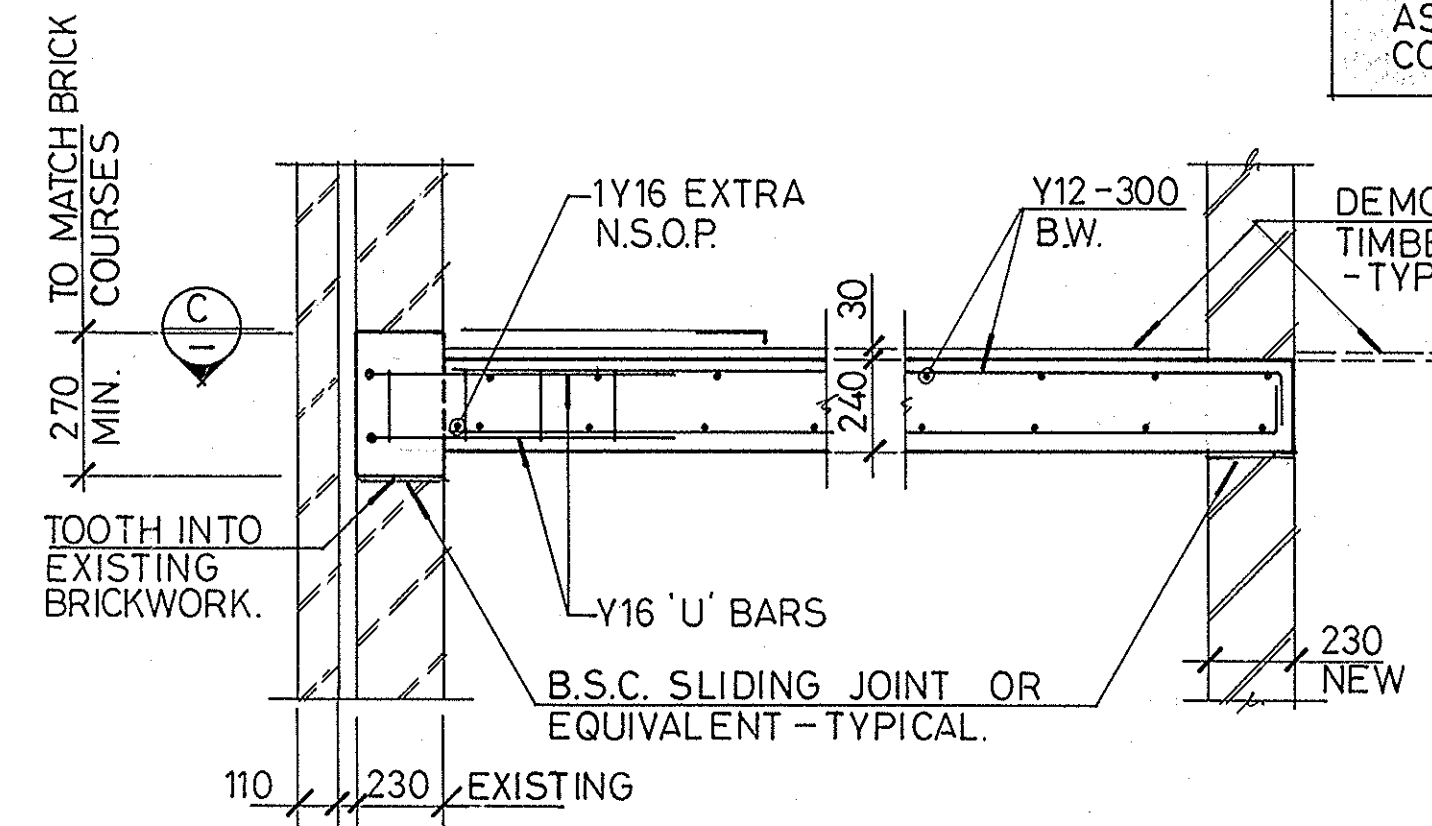
ROOF PLAN

NOTE: DEMOLITION TO PROCEED FROM ROOF LEVEL DOWN, ALL IN ACCORDANCE WITH AS 2601 DEMOLITION CODE.

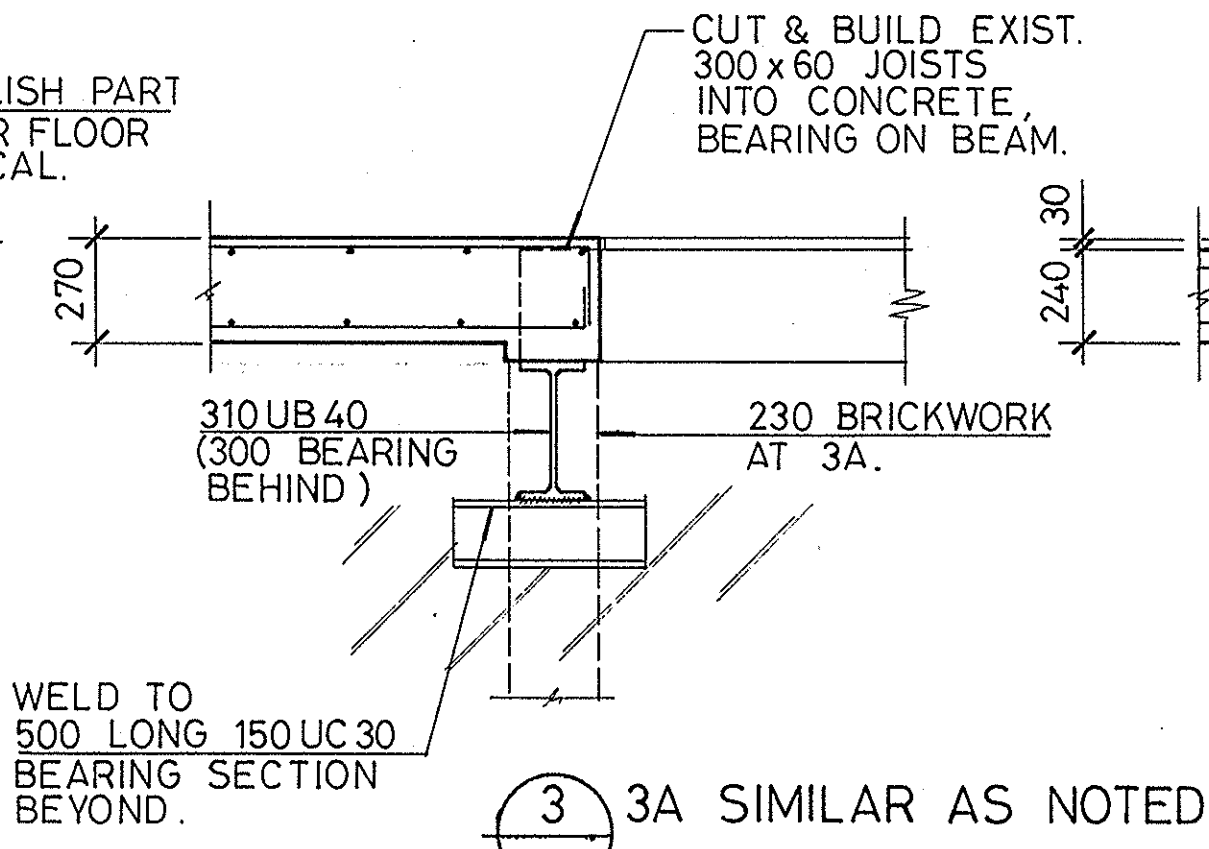


BEAM ELEVATION 1B1

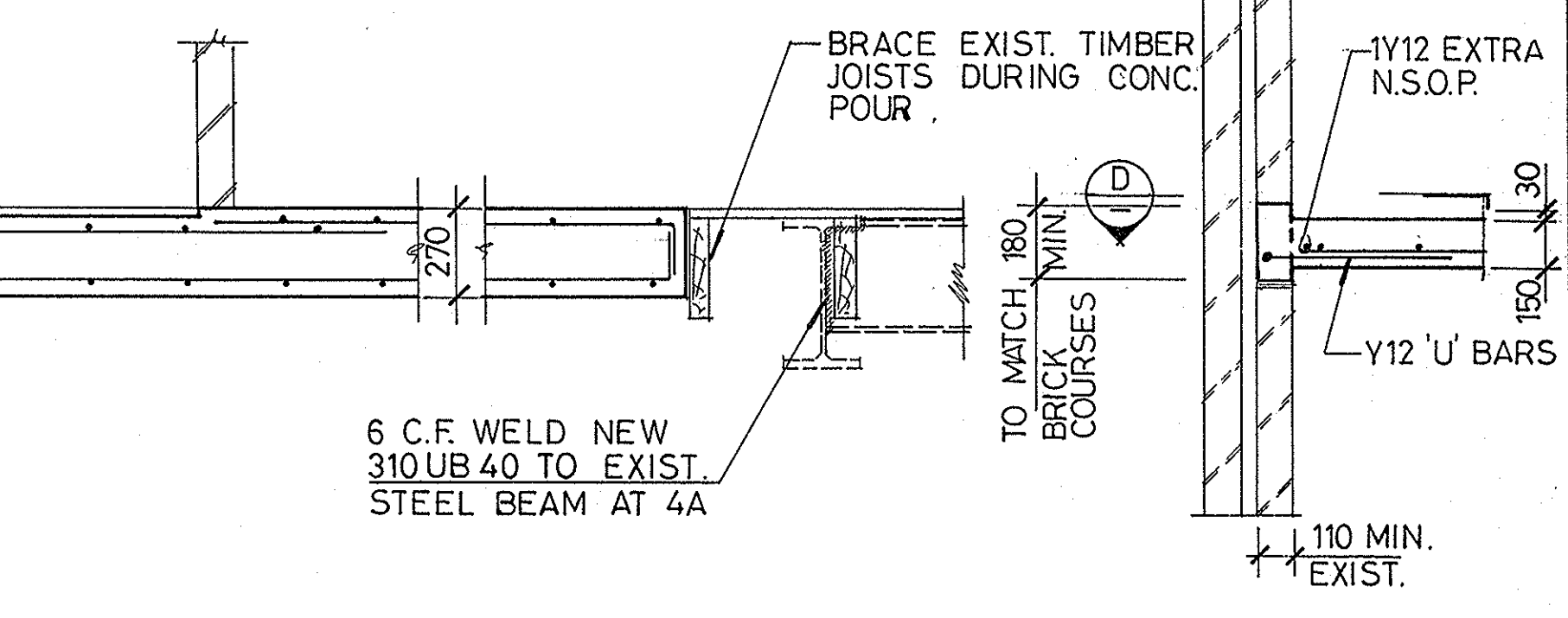
SCALE: 1:50



2

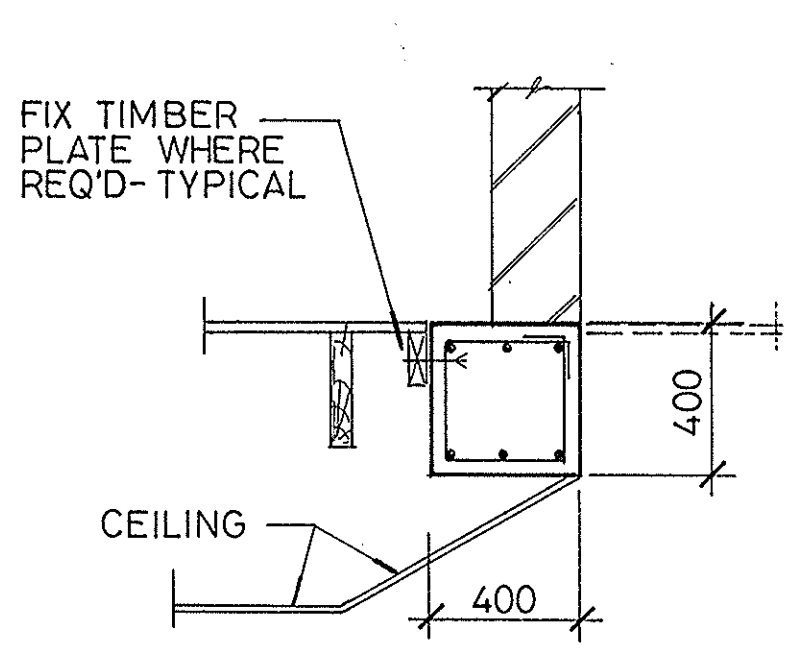


3 3A SIMILAR AS NOTED

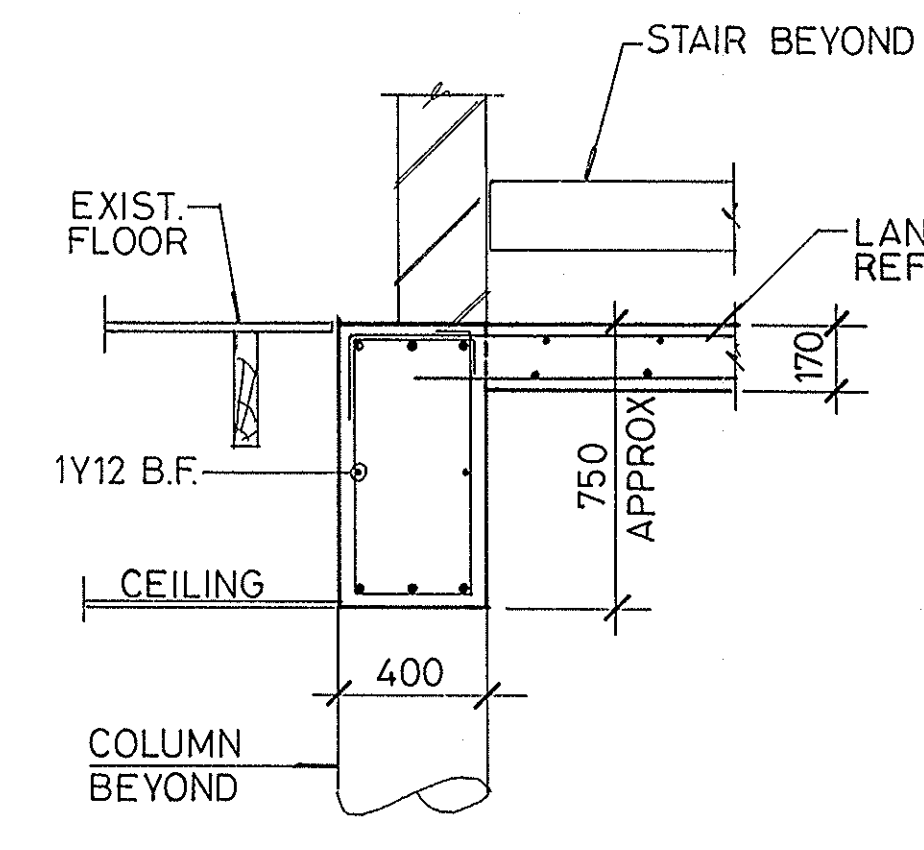


4 4A SIMILAR AS NOTED

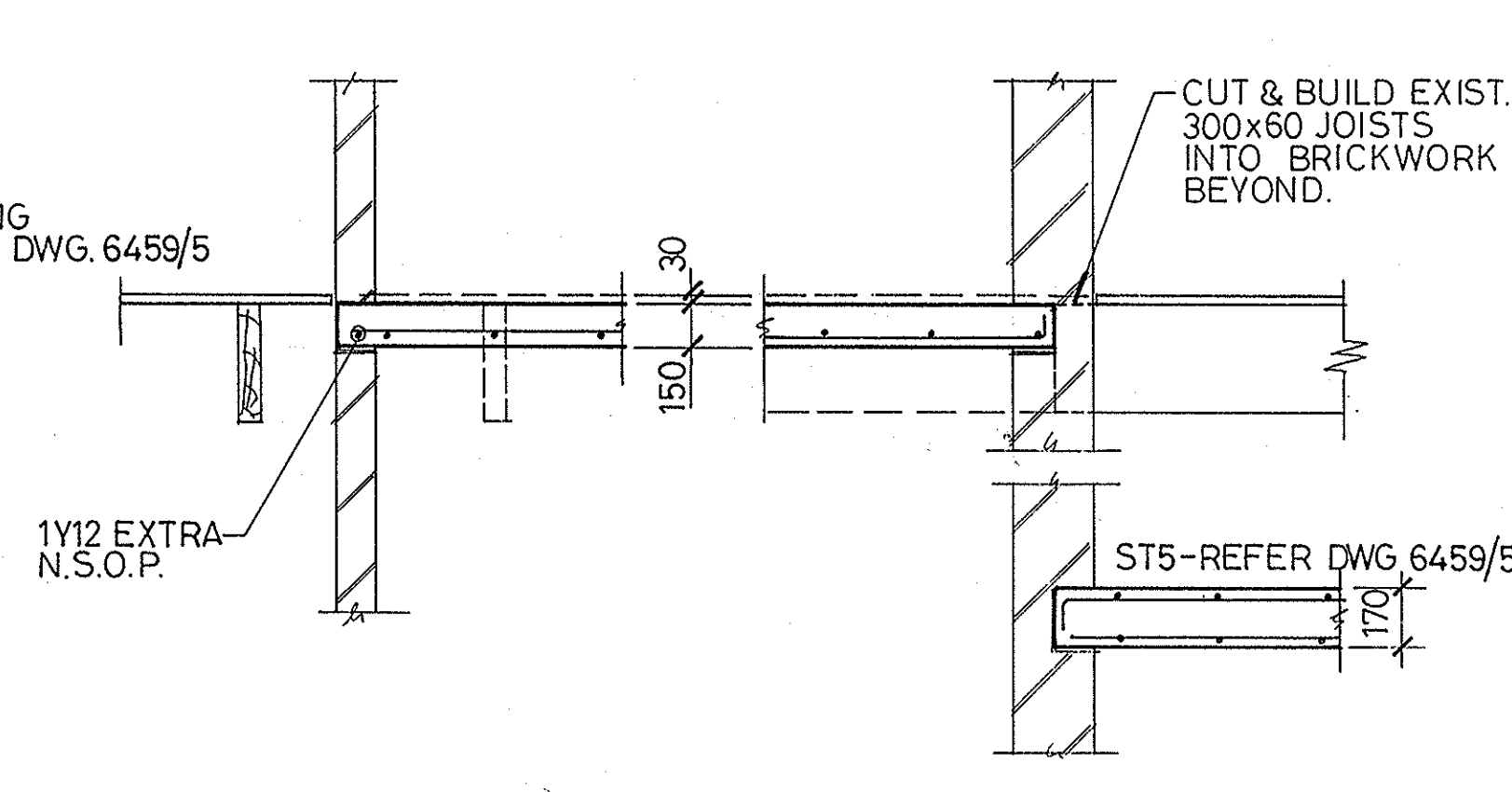
5 5A SIMILAR



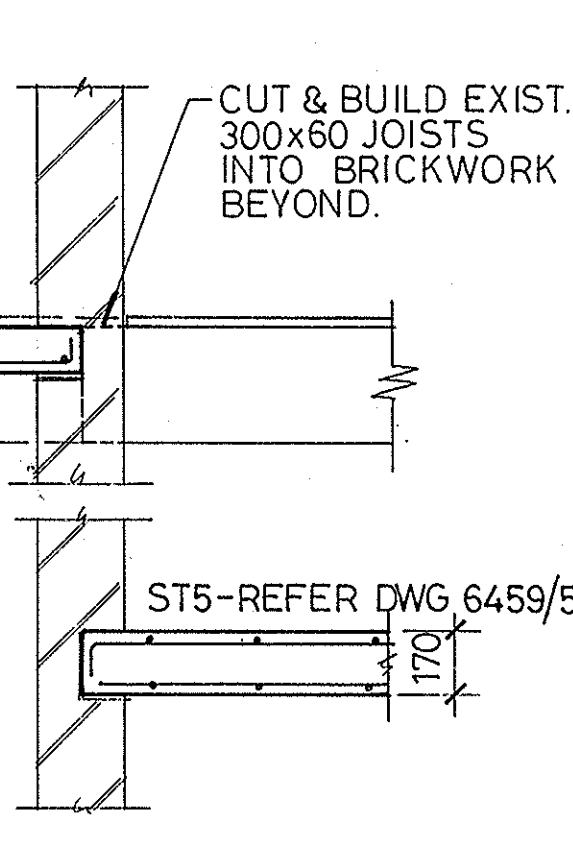
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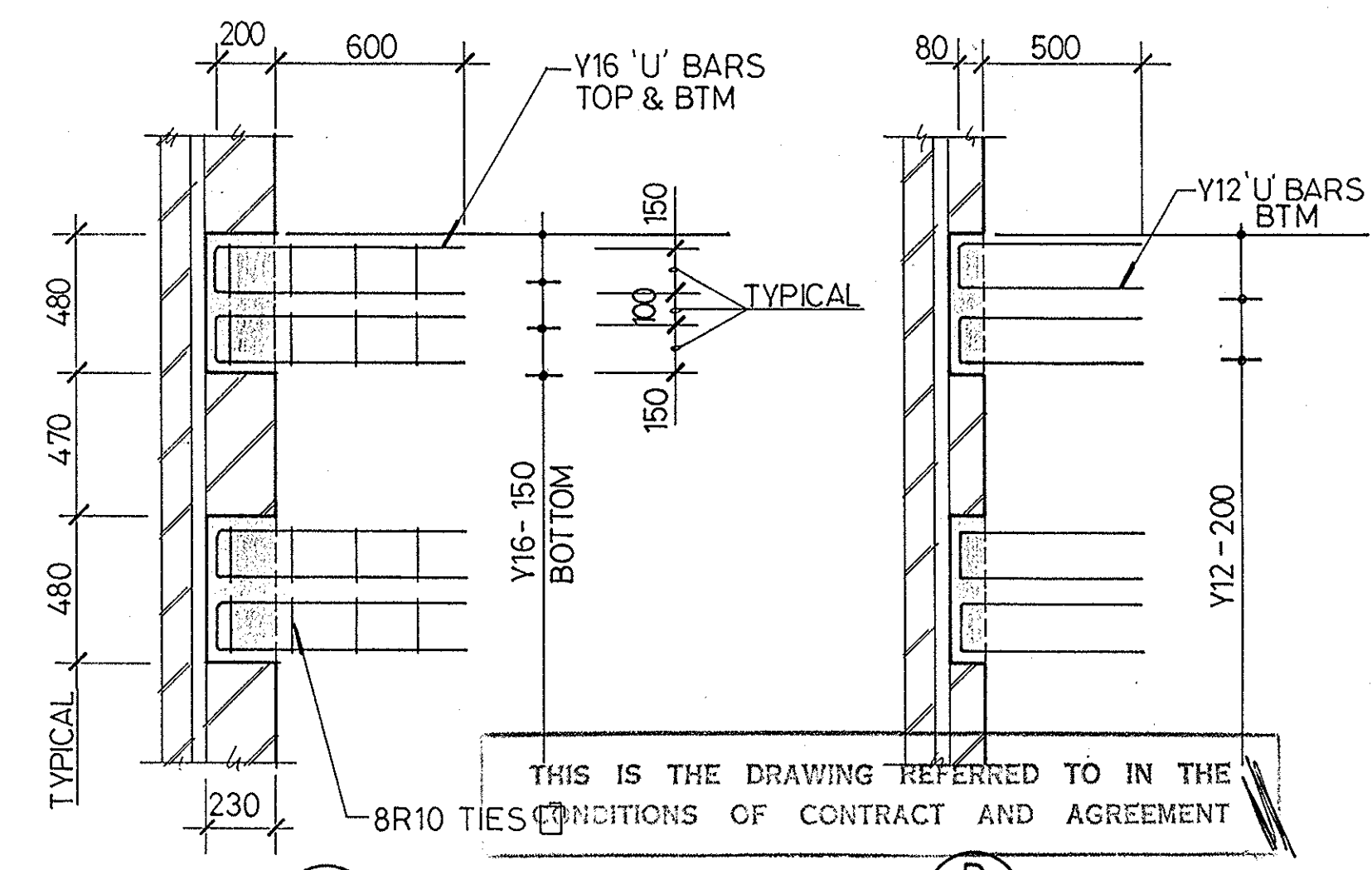
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6 6A SIMILAR



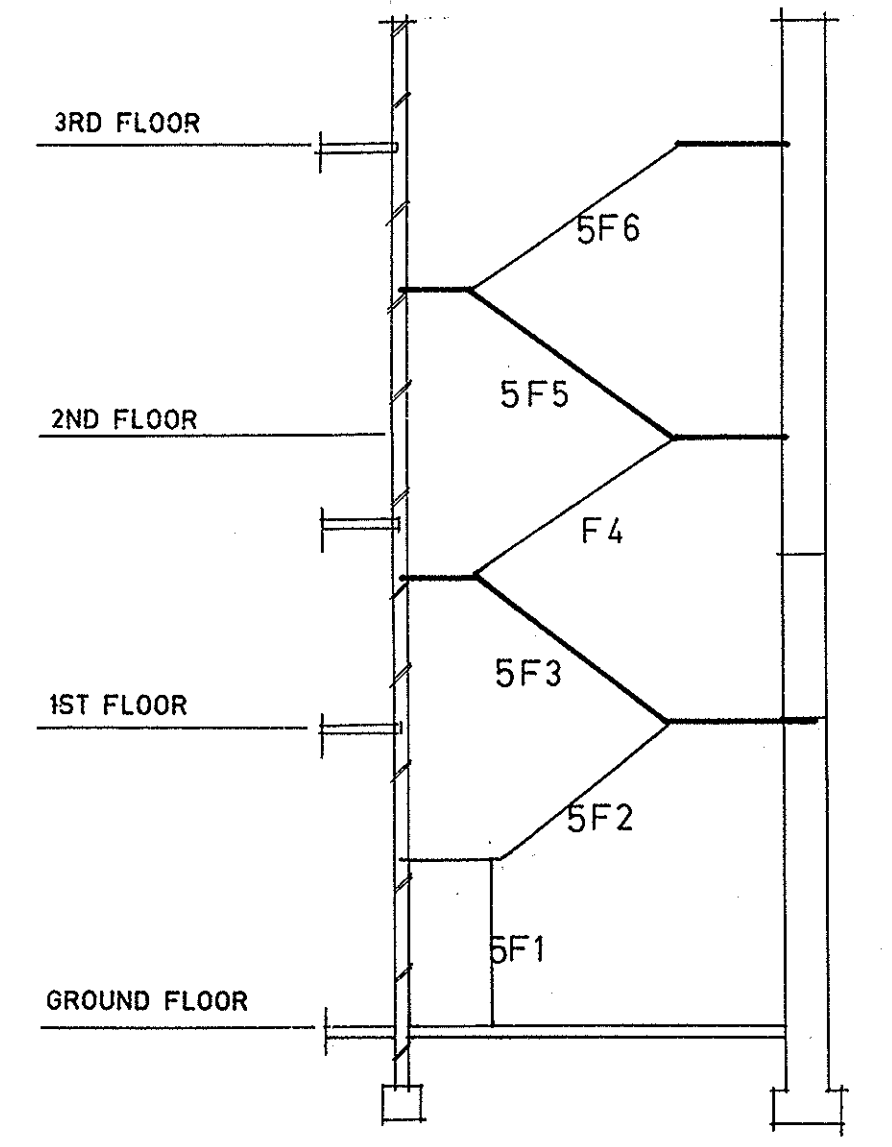
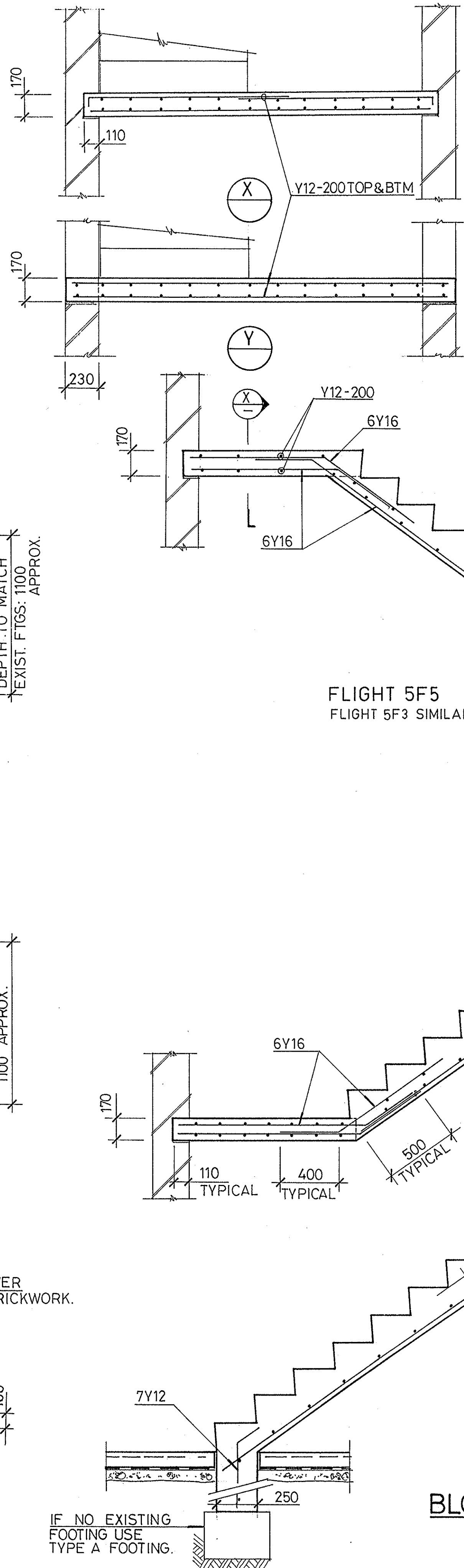
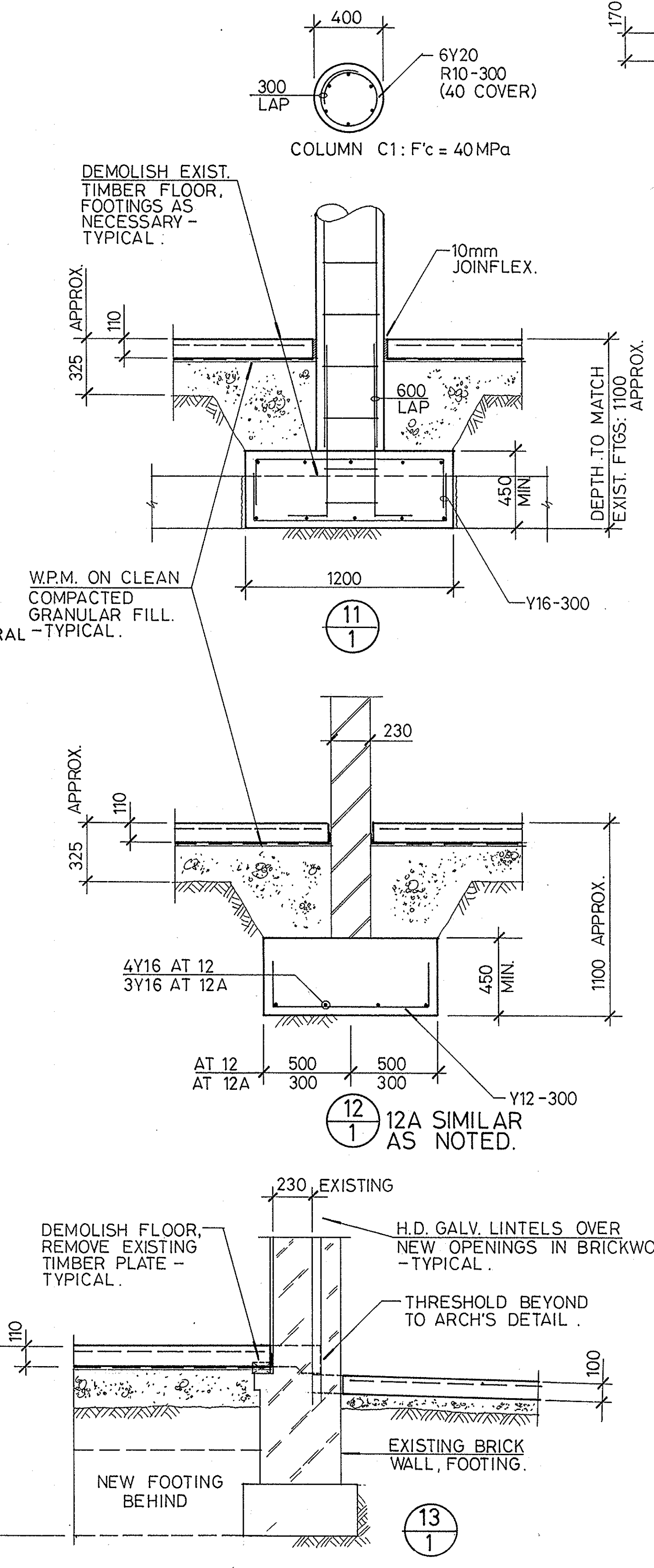
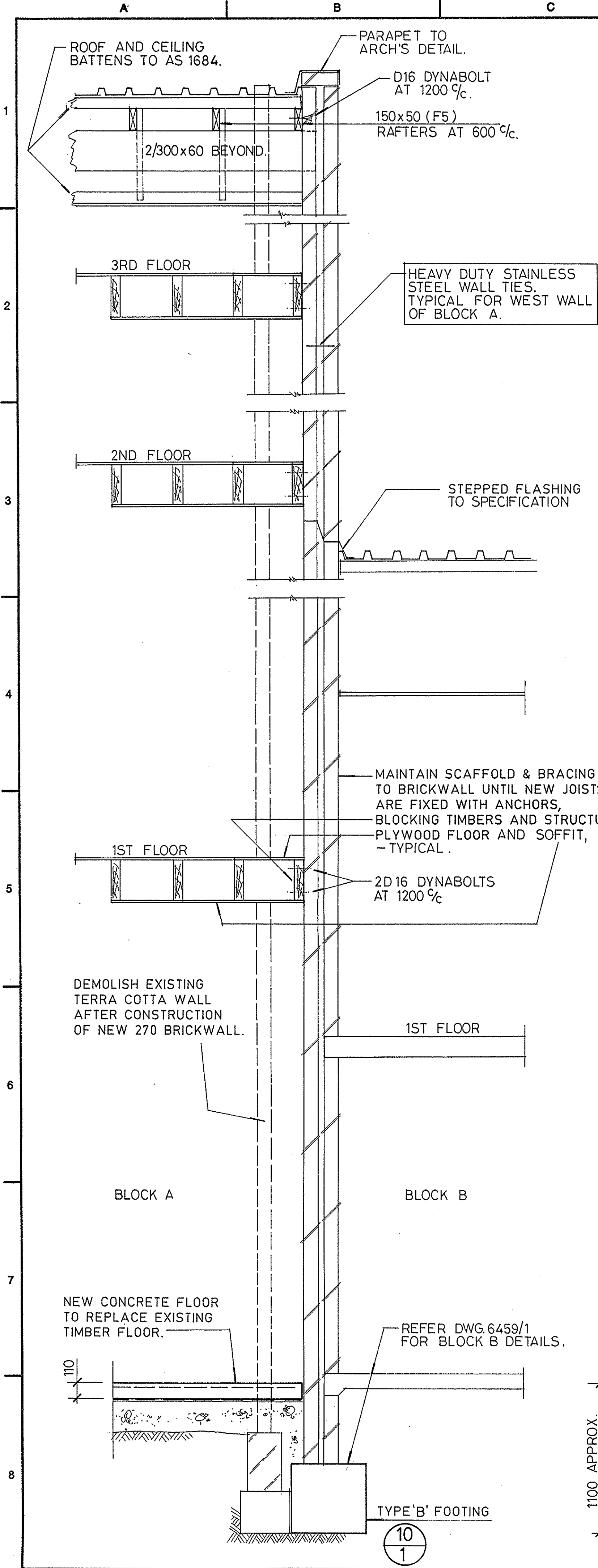
7 7A SIMILAR



TOOTHING DETAILS

| | | | |
|---|-------------------------|-------------------|-------------|
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| A | ISSUED FOR CONSTRUCTION | J.R. | 15-6-92 |
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| ARCHITECTS: PH: (02) 419 7299 INNOVAC DYER PTY LTD. PROPOSED HOUSING AT: 61-63 PITTWATER ROAD, MANLY. FOR THE DEPARTMENT OF HOUSING. JOB N° DH 25/108/1,2 & 3. | | | |
| BLOCK A: FIRST, SECOND & THIRD FLOORS, ROOF. | | | |
| DESIGN: P.M.A. | DRAWN: J.R. | SCALES: 1:100, 20 | |
| CHKD: <i>[Signature]</i> | No. IN SET | mpn JOB | DRAWING No. |
| APPRD: <i>[Signature]</i> | | | 6459 4A |
| DATE: 11-2-92 | | | |

REFER TO DRAWING 6459/1 FOR GENERAL CONSTRUCTION NOTES.

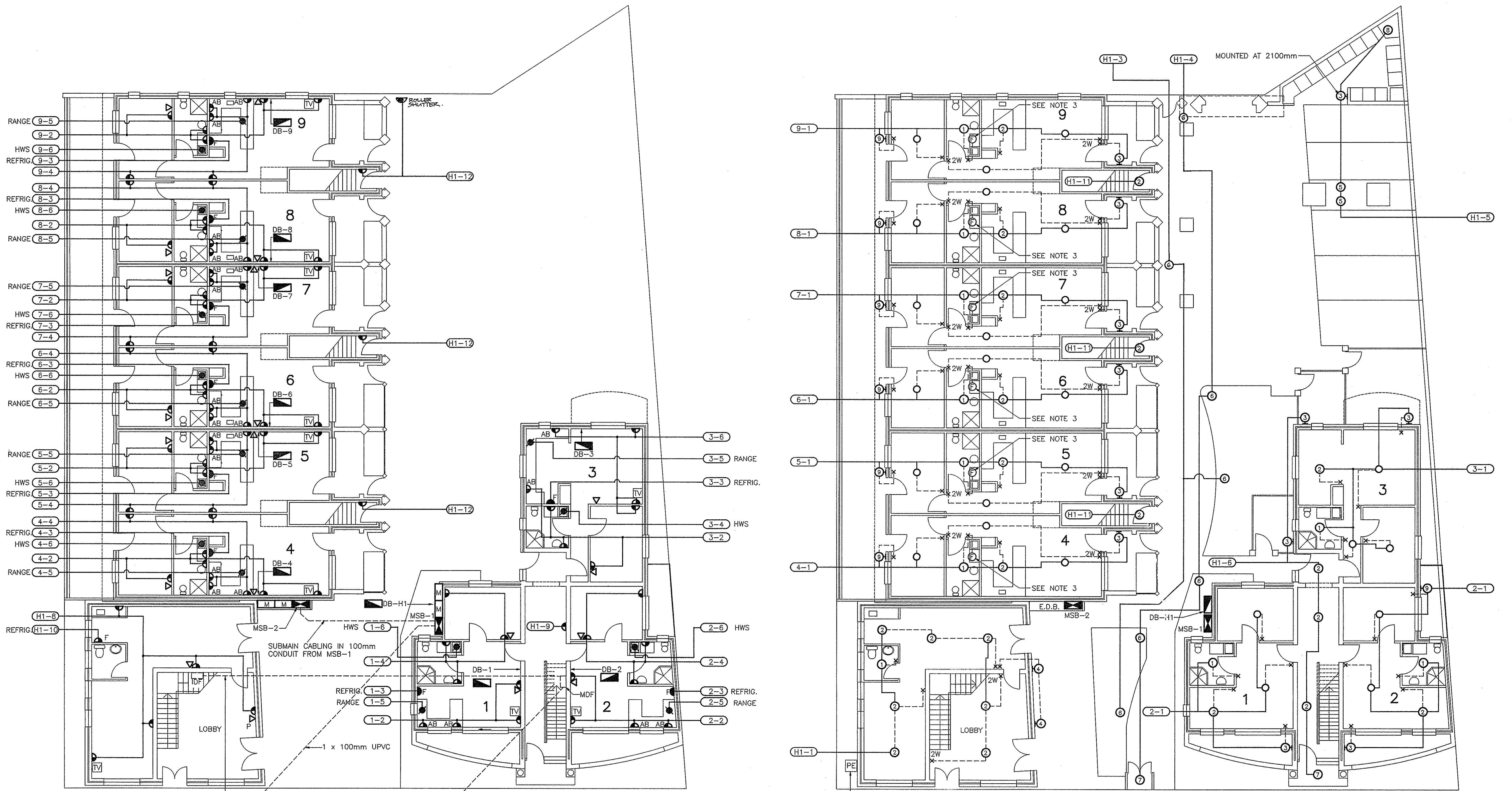


KEY DIAGRAM: ST5
SCALE 1:100

BLOCK A STAIR: ST5

| | | | |
|---|-------------------------|-------------------|---------|
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| A | ISSUED FOR CONSTRUCTION | GA | 15-6-92 |
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| MATEFFY-PERL-NAGY PTY LTD. | | | |
| CONSULTING ENGINEERS ACN 000 766 978 5 HARBOURVIEW CR, MILSONS POINT, 2061, N.S.W. AUSTRALIA. TEL: (02) 929-7144. | | | |
| ARCHITECTS: | | PH: (02) 419 7299 | |
| INNOVAC DYER PTY LTD. | | | |
| PROPOSED HOUSING AT: 61-63 PITTWATER ROAD, MANLY FOR THE DEPARTMENT OF HOUSING. JOB NO DH 25/108/1,2 & 3. | | | |
| BLOCK A: SECTIONS AND STAIR 5 DETAILS. | | | |
| DESIGN: | PMA | DRAWN: | GP |
| CHKD: | <i>[Signature]</i> | No. IN SET | mpn JOB |
| APPRD: | <i>[Signature]</i> | DATE: | 11-2-92 |
| SCALE: 1:20 | | DRAWING NO. | |
| 5 | | 6459 5A | |

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT



THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

NOTE
 THE CONTRACTOR SHALL PAY ALL COSTS FOR CABLING AND ASSOCIATED WORKS AS REQUIRED BY SYDNEY ELECTRICITY FOR INCOMING SERVICE TO MAIN SWITCHBOARD

- NOTES:**
1. FOR SINGLE LINE DIAGRAM REFER DWG. Nos. E4 & E5.
 2. FOR LEGEND REFER DWG. NO. E5.
 3. TOILET EXHAUST FANS TO BE SWITCHED FROM TOILET LIGHT SWITCH LOCATIONS VIA DOUBLE POLE SWITCH MECHANISMS WIRING BY ELECTRICAL CONTRACTOR

| | | | |
|-----|---|----|------|
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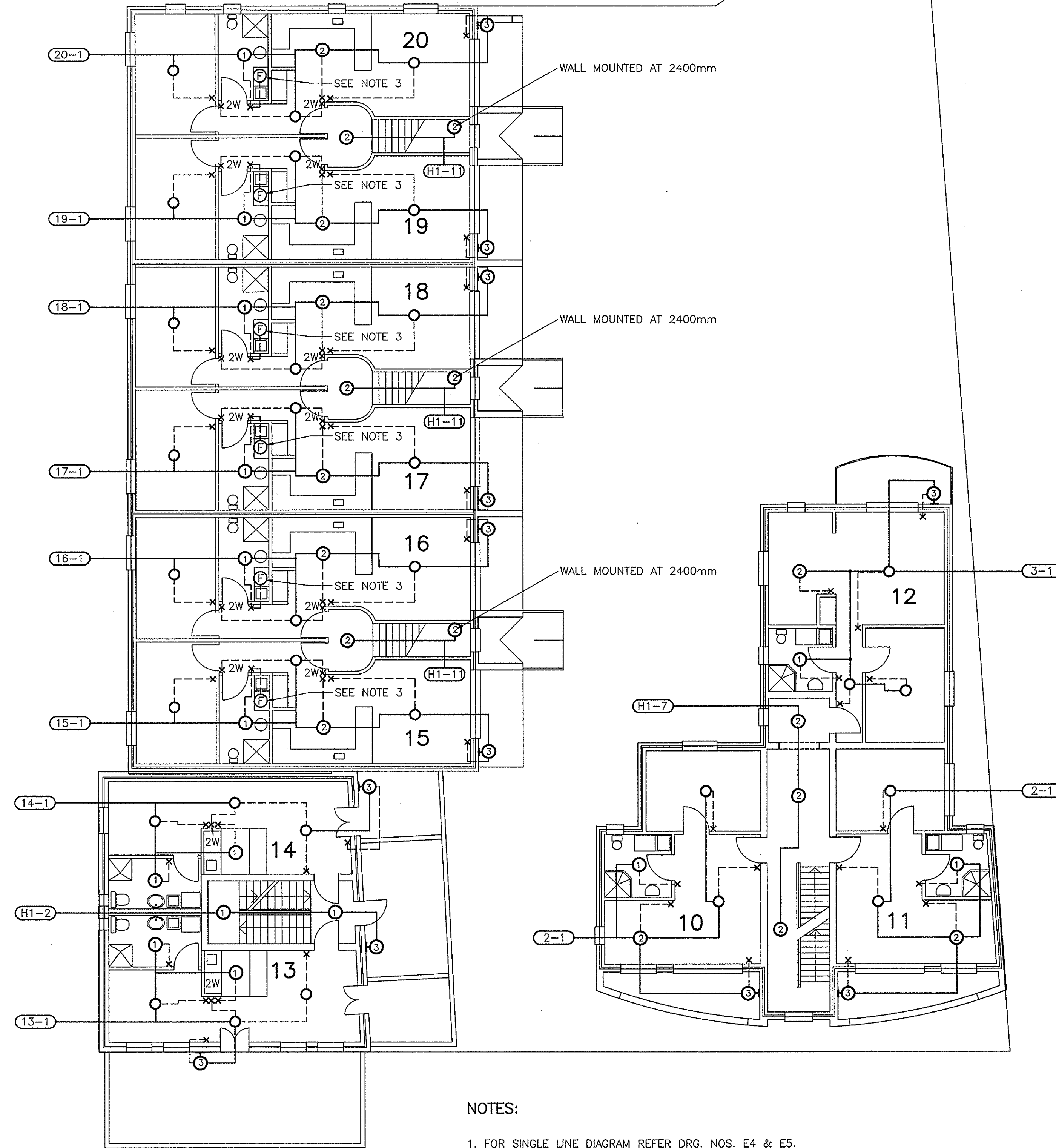
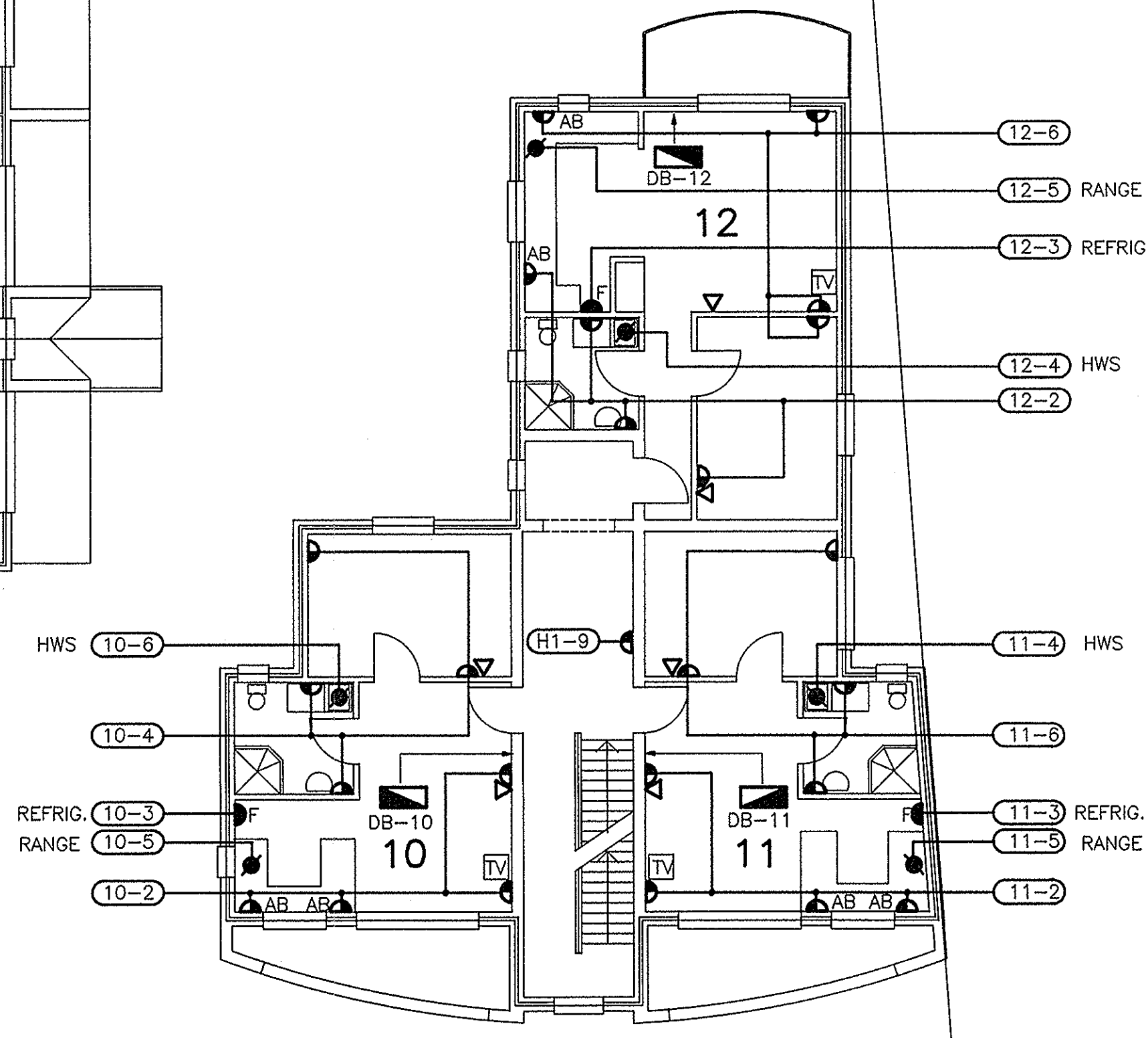
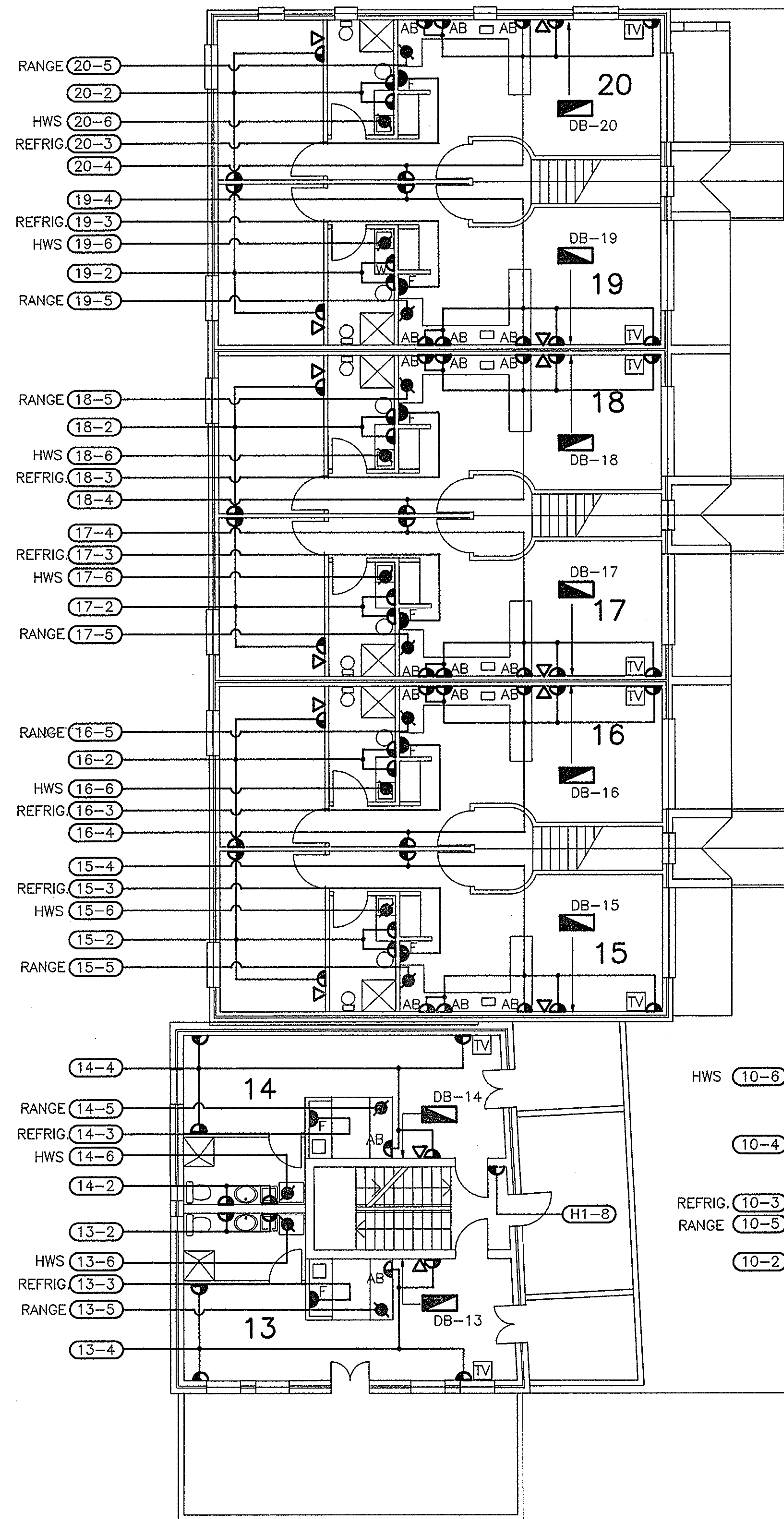
ARCHITECT: INNOVAC DYER ARCHITECTS
 47 NERIDAH ST., CHATSWOOD
 TEL: 419 7299

PROJECT: REHABILITATION AND INFILL HOUSING
 AT: 61-63 PITWATER ROAD, MANLY
 FOR: DEPARTMENT OF HOUSING

MPN · TIMAR
 BUILDING SERVICES CONSULTING ENGINEERS
 3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
 P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

ELECTRICAL SERVICES
 TITLE: GROUND FLOOR LIGHTING & POWER LAYOUT

| | | | |
|-----------|-------------|------------|-------|
| DRAWN | A.P. | APPROVED | DATE |
| DESIGN | R.G. | SCALES | 1:100 |
| No IN SET | JOB No | DRAWING No | REV |
| 5 | 25108/1/123 | 1573-E1 | |



- NOTES:
1. FOR SINGLE LINE DIAGRAM REFER DRG. NOS. E4 & E5.
 2. FOR LEGEND REFER DRG. NO. E5
 3. TOILET EXHAUST FANS TO BE SWITCHED FROM TOILET LIGHT SWITCH LOCATIONS VIA DOUBLE POLE SWITCH MECHANISMS. WIRING BY ELECTRICAL CONTRACTOR

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

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|--|---|----------|----|------|
| | REV | REVISION | BY | DATE |
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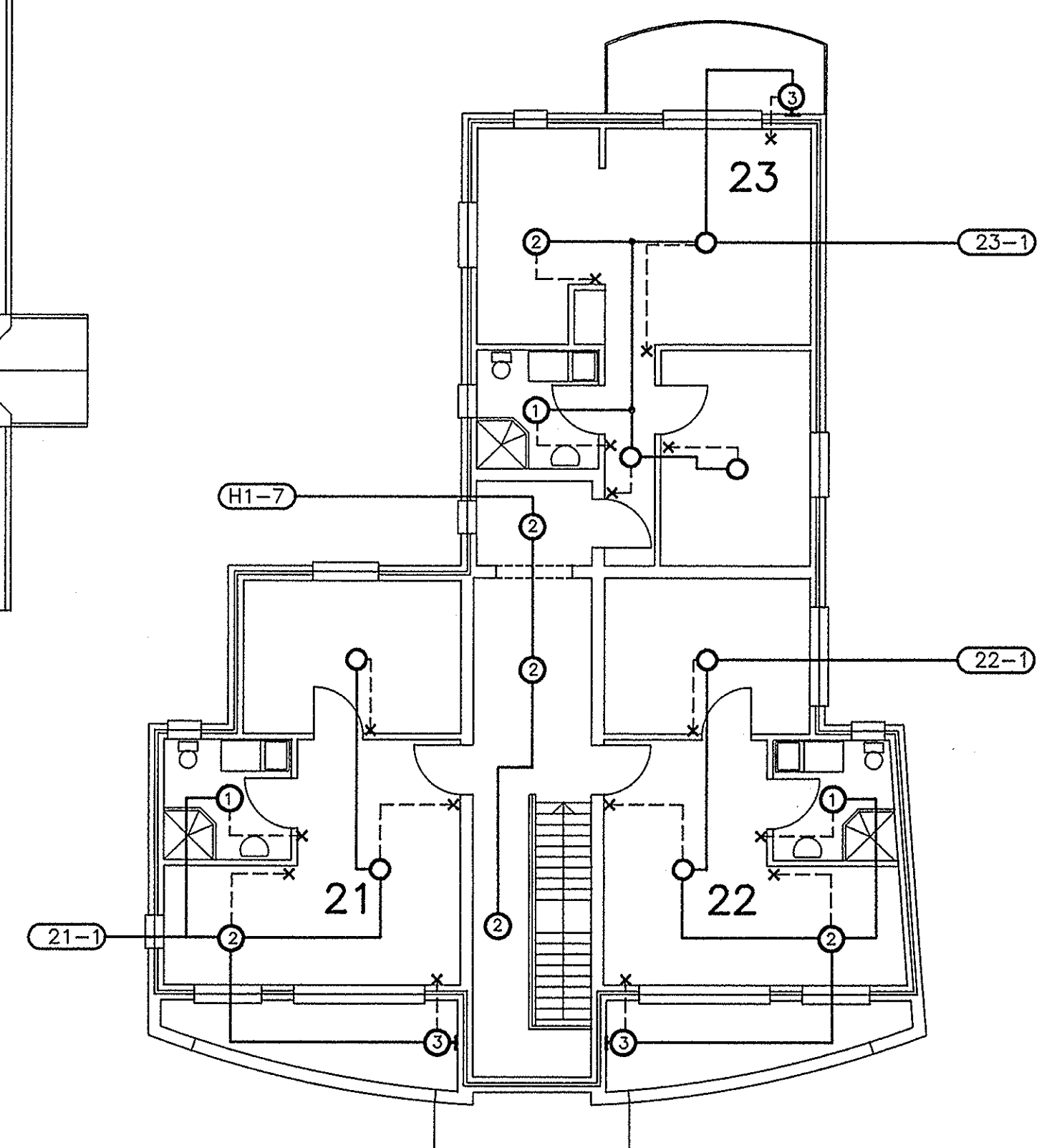
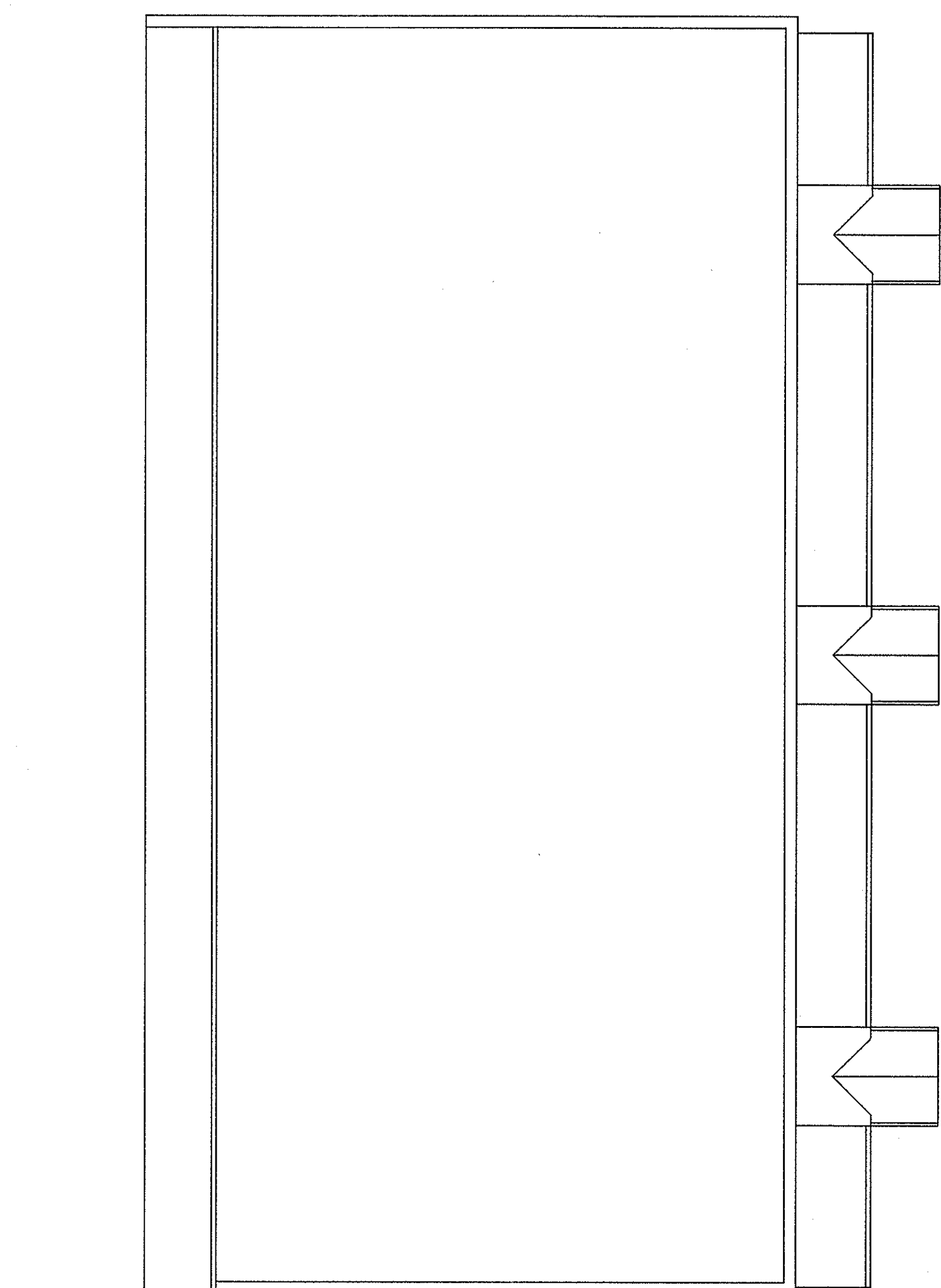
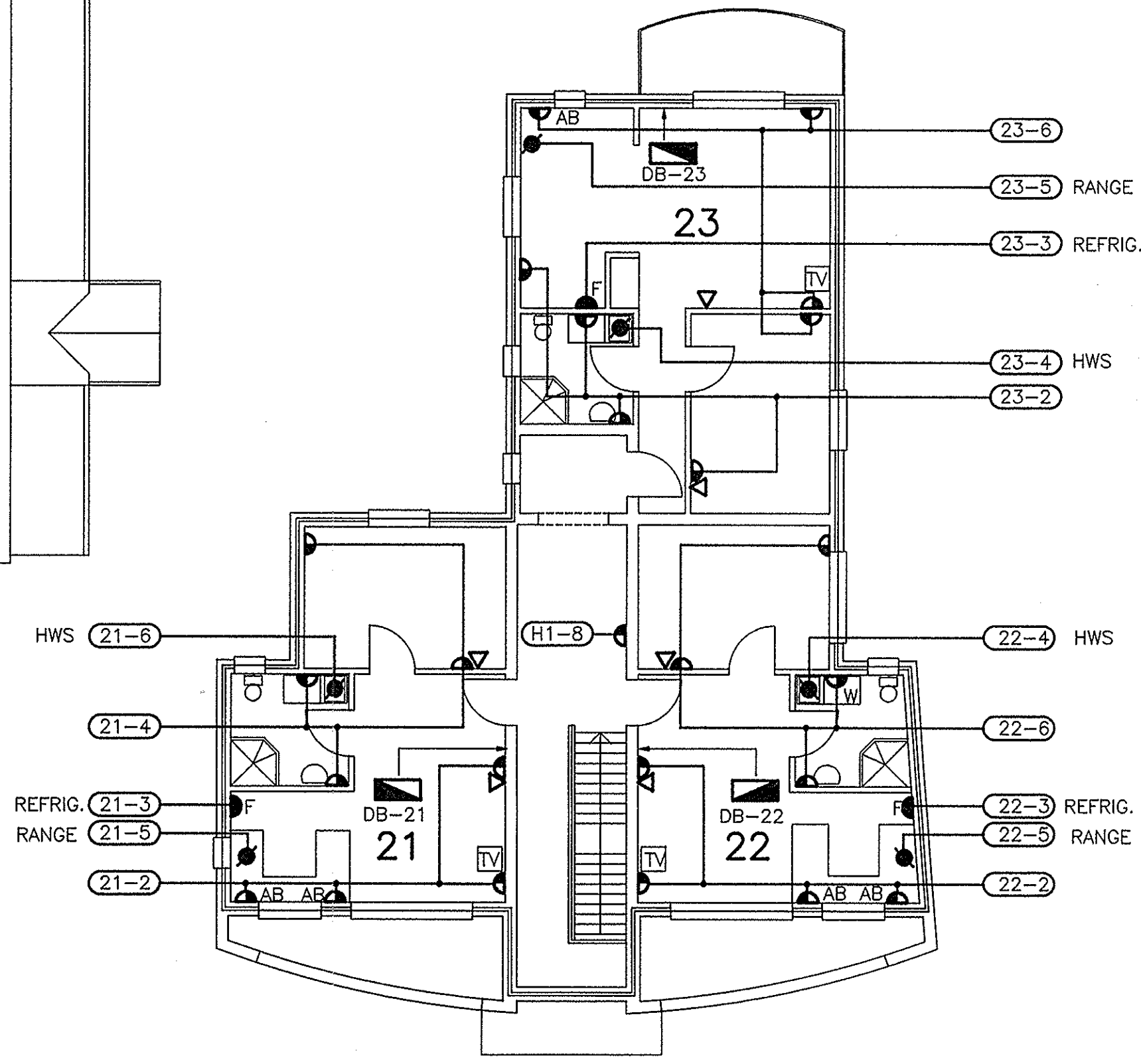
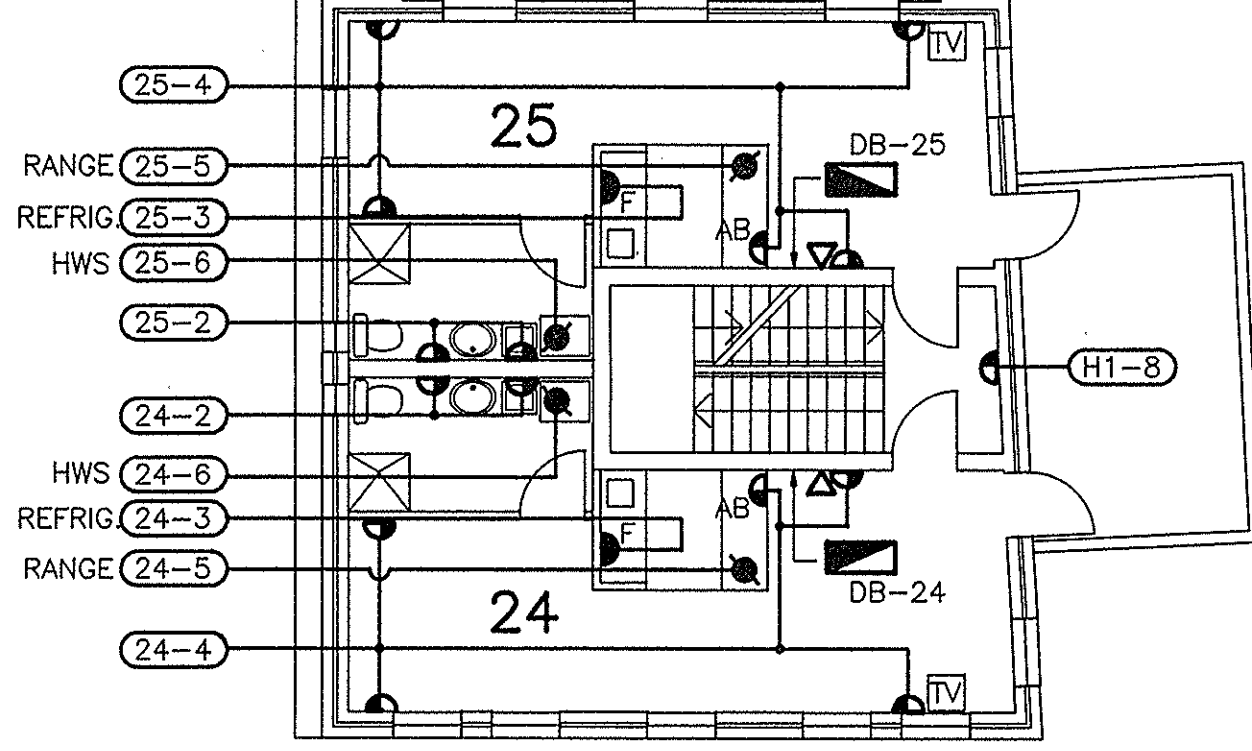
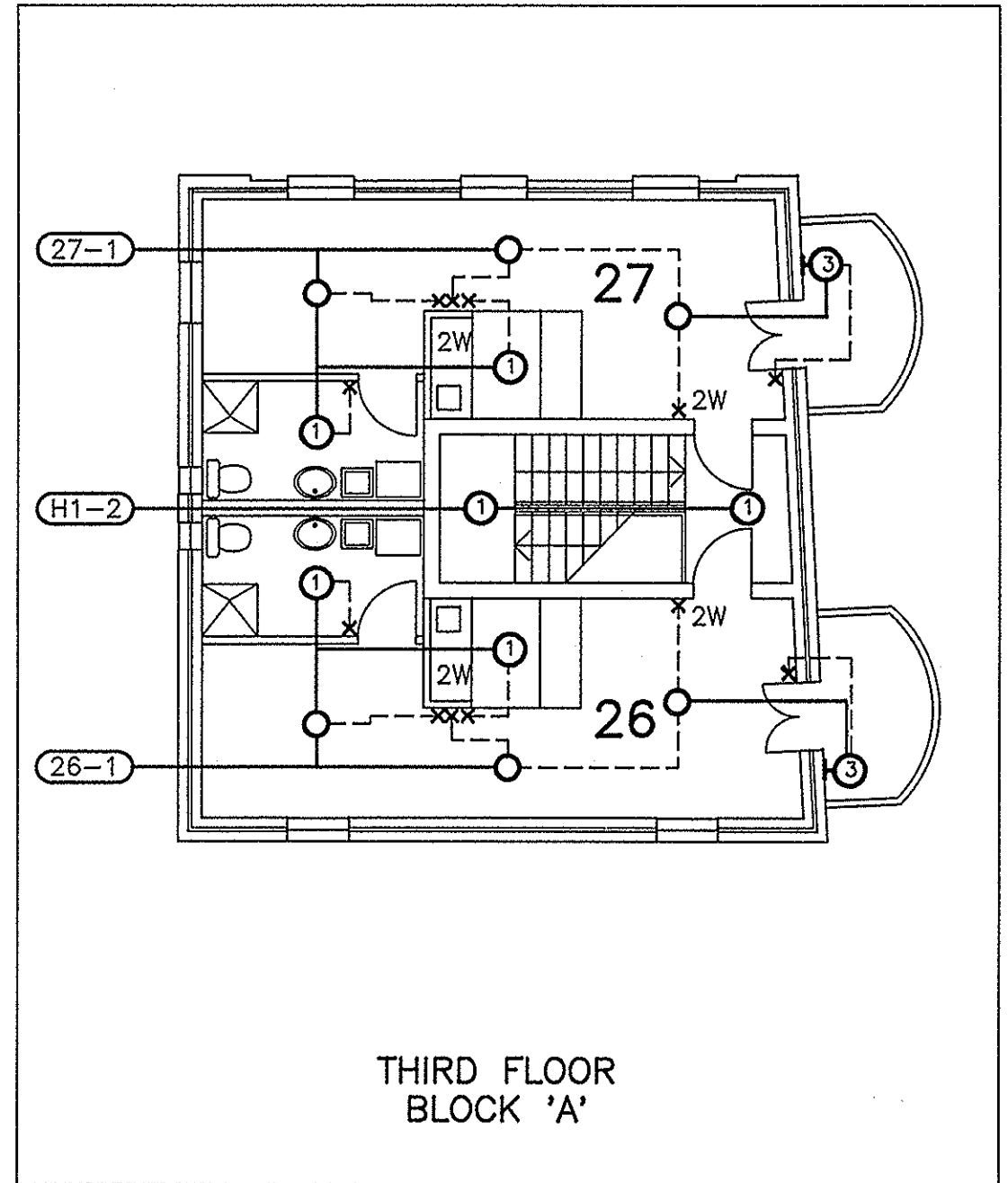
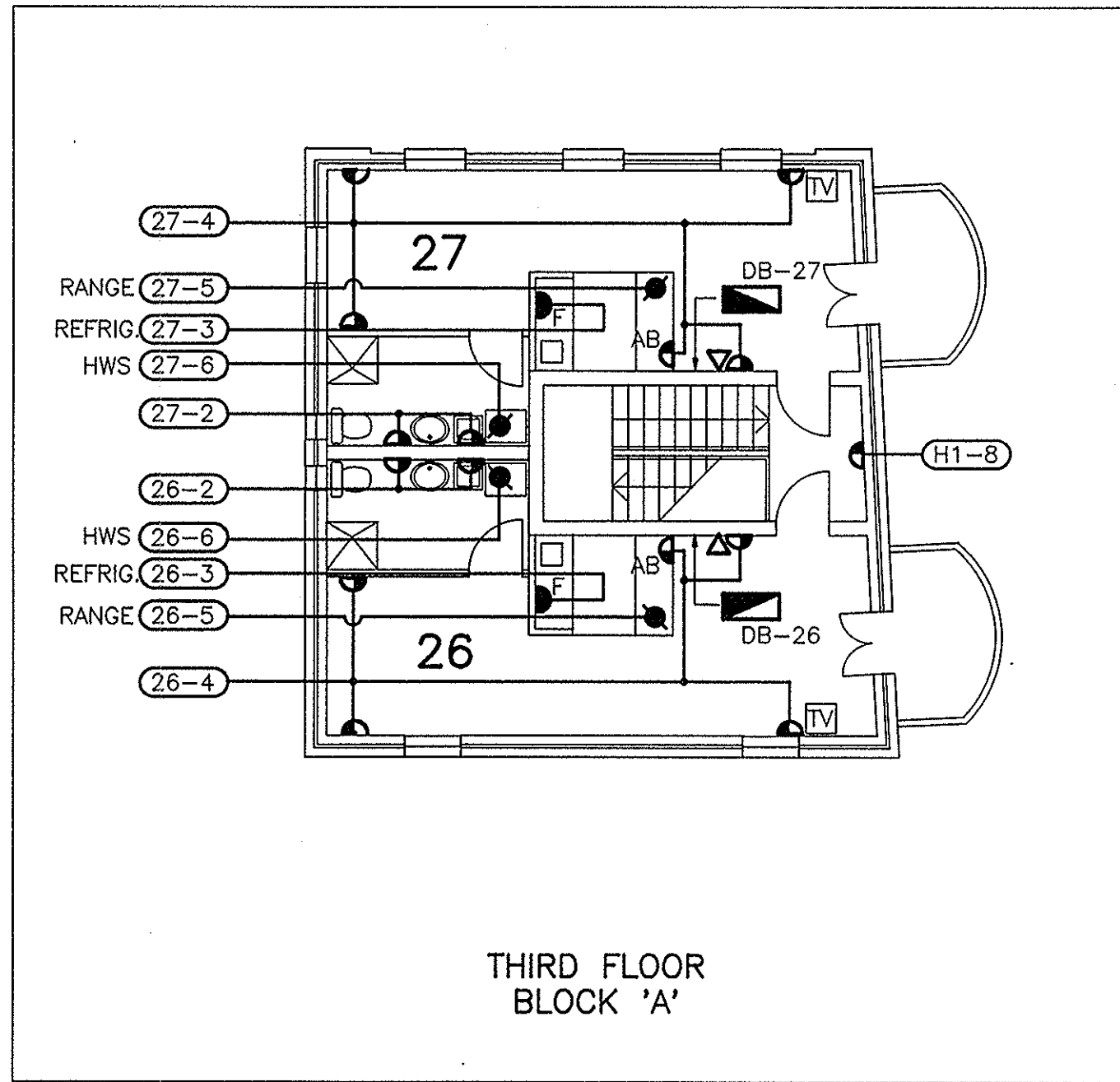
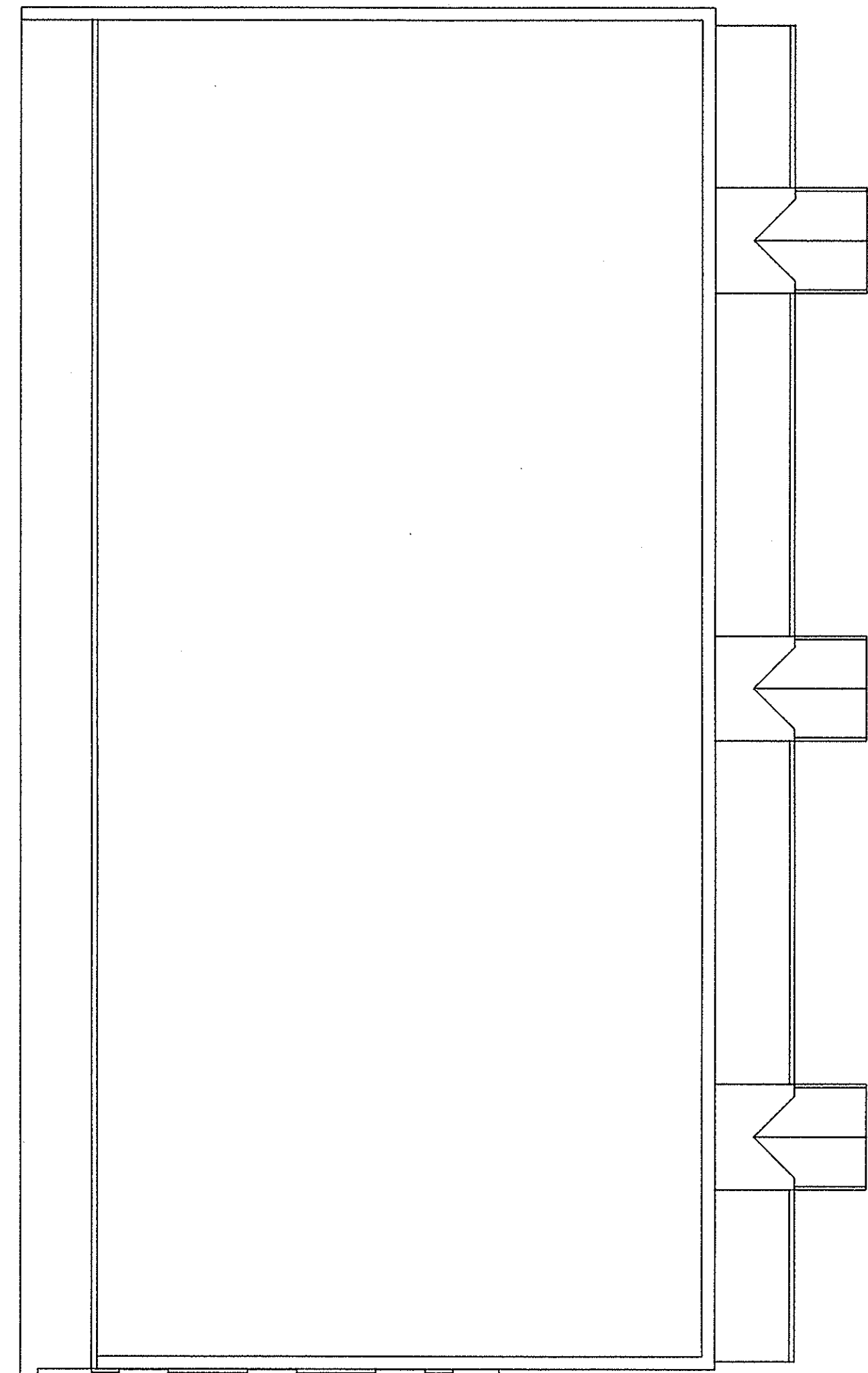
ARCHITECT: INNOVAC DYER ARCHITECTS
47 NERIDAH ST., CHATSWOOD
TEL: 419 7299

PROJECT: REHABILITATION AND INFILL HOUSING
AT: 61-63 PITWATER ROAD, MANLY
FOR: DEPARTMENT OF HOUSING

MPN · TIMAR
BUILDING SERVICES CONSULTING ENGINEERS
3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

ELECTRICAL SERVICES
TITLE: FIRST FLOOR LIGHTING & POWER LAYOUT

| | | | |
|-----------|-------------|------------|-------|
| DRAWN | A.P. | APPRD | DATE |
| DESIGN | R.G. | SCALES | 1:100 |
| No IN SET | JOB No | DRAWING No | REV |
| 5 | 25108/1/123 | 1573-E2 | |



SECOND FLOOR
BLOCK 'A'

SECOND FLOOR
BLOCK 'C'

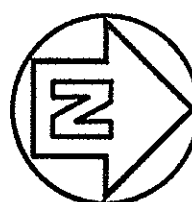
SECOND FLOOR
BLOCK 'A'

SECOND FLOOR
BLOCK 'C'

NOTES:

1. FOR SINGLE LINE DIAGRAM REFER DRG. NO. E4 & E5
2. FOR LEGEND REFER DRG NO. E5

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TEL: 419 7299

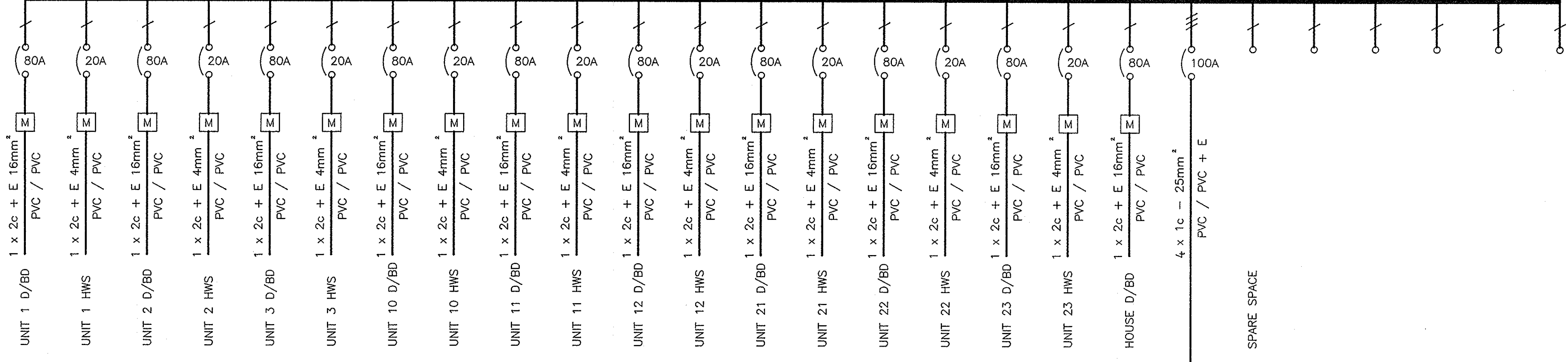
PROJECT: REHABILITATION AND INFILL HOUSING
AT: 61-63 PITTSWATER ROAD, MANLY
FOR: DEPARTMENT OF HOUSING

MPN • TIMAR
BUILDING SERVICES CONSULTING ENGINEERS
3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

| | | | | |
|--|--------------------|--------------------|-------------------|---------------|
| ELECTRICAL SERVICES | | DRAWN A.P. | APPRD [Signature] | DATE 11.12.91 |
| TITLE: SECOND & THIRD FLOORS LIGHTING & POWER LAYOUT | | DESIGN R.G. | SCALES 1:100 | |
| No IN SET 5 | JOB No 25108/1/123 | DRAWING No 1573-E3 | REV | |

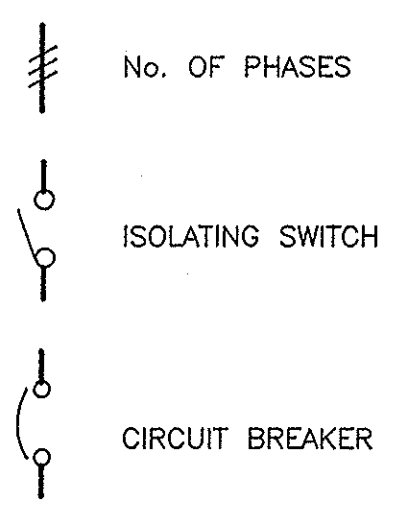
4 x 1C - 35mm² SUPPLIED AND INSTALLED BY SYDNEY ELECTRICITY (CONDUIT BY ELECTRICAL CONTRACTOR TO BOUNDARY)
 SYDNEY ELECTRICITY SERVICE FUSES
 4 x 1C - 35mm² SUPPLIED AND INSTALLED BY CONTRACTOR
 MAIN SWITCH 225 A

30 POLE BLOCK C



MAIN SWITCHBOARD No.1
 SINGLE LINE DIAGRAM

LEGEND



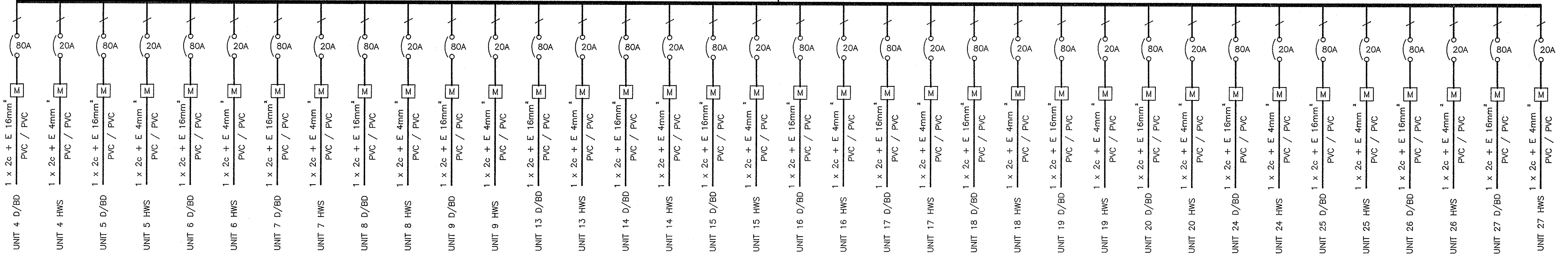
NOTE

1. FOR "UNIT" DISTRIBUTION BOARD SINGLE LINE DIAGRAM REFER DRG. NO. E5

CABLE IN 100mm CONDUIT FROM BLOCK C TO BLOCKS A & B REFER DRG. NO. E1

MAIN SWITCH 100A N/A

36 POLE BLOCKS A & B



MAIN SWITCHBOARD NO.2
 SINGLE LINE DIAGRAM

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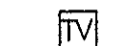

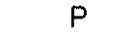

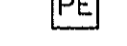


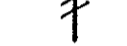
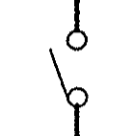
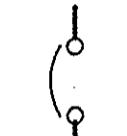
ARCHITECT: INNOVAC DYER ARCHITECTS
 47 NERIDAH ST., CHATSWOOD
 TEL: 419 7299

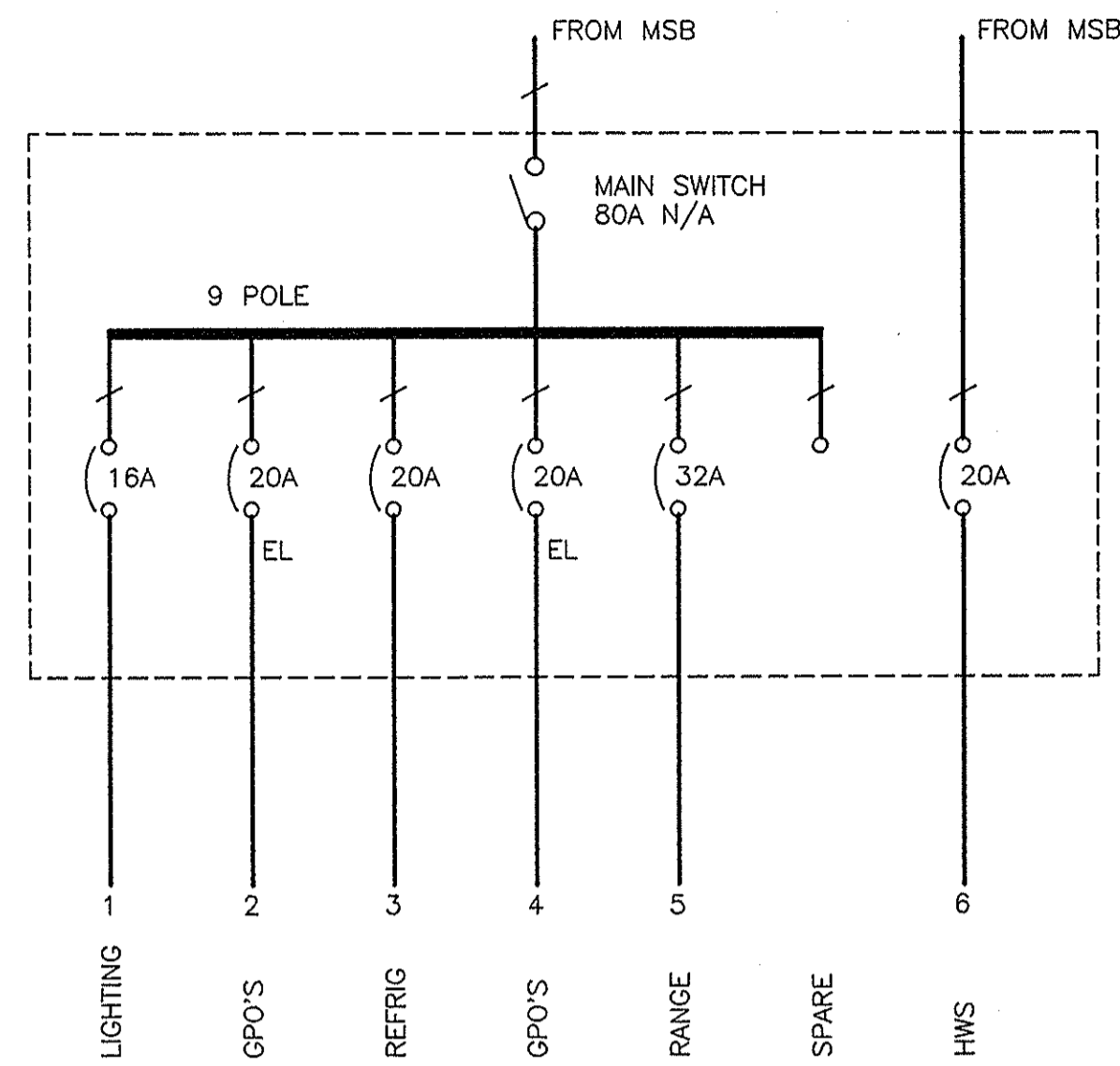
PROJECT: REHABILITATION AND INFILL HOUSING
 AT: 61-63 PITTSWATER ROAD, MANLY
 FOR: DEPARTMENT OF HOUSING

MPN • TIMAR
 BUILDING SERVICES CONSULTING ENGINEERS
 3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
 P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

| ELECTRICAL SERVICES | | DESIGN | A.P. | APPRD | DATE |
|---------------------|-------------|------------|--------|--------|------|
| TITLE: | | R.G. | SCALES | N.T.S. | |
| No IN SET | JOB No | DRAWING No | REV | | |
| 5 | 25108/1/123 | 1573-E4 | | | |

LEGEND

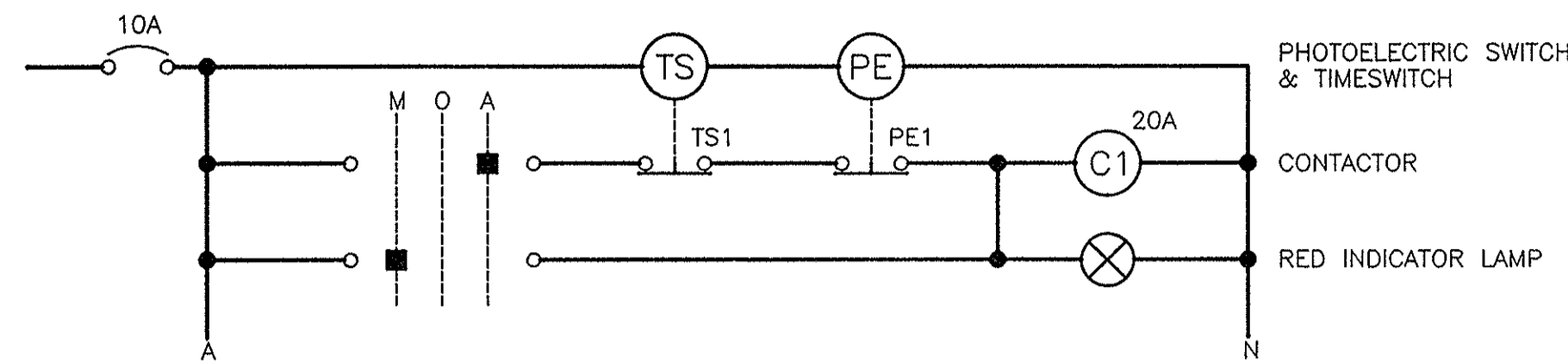
-  MAIN SWITCH BOARD
-  DISTRIBUTION BOARD
-  (H1-9) CIRCUIT NUMBER
-  ---x SWITCH & SWITCHWIRE
-  CIRCUITLINE
-  GENERAL PURPOSE OUTLET
-  AB DENOTES MOUNTED ABOVE BENCH
-  GENERAL PURPOSE OUTLET (DOUBLE)
-  TV OUTLET
-  TELEPHONE OUTLET
-  P DENOTES PUBLIC TELEPHONE
-  FIXED CONNECTION
-  PE PHOTO-ELECTRIC SWITCH
-  M METER PANEL
-  No. OF PHASES
-  ISOLATING SWITCH
-  CIRCUIT BREAKER
- M.O.A. DENOTES MANUAL OFF AUTO
- E.L. DENOTES EARTH LEAKAGE CIRCUIT BREAKER
- N/A DENOTES NON-AUTO



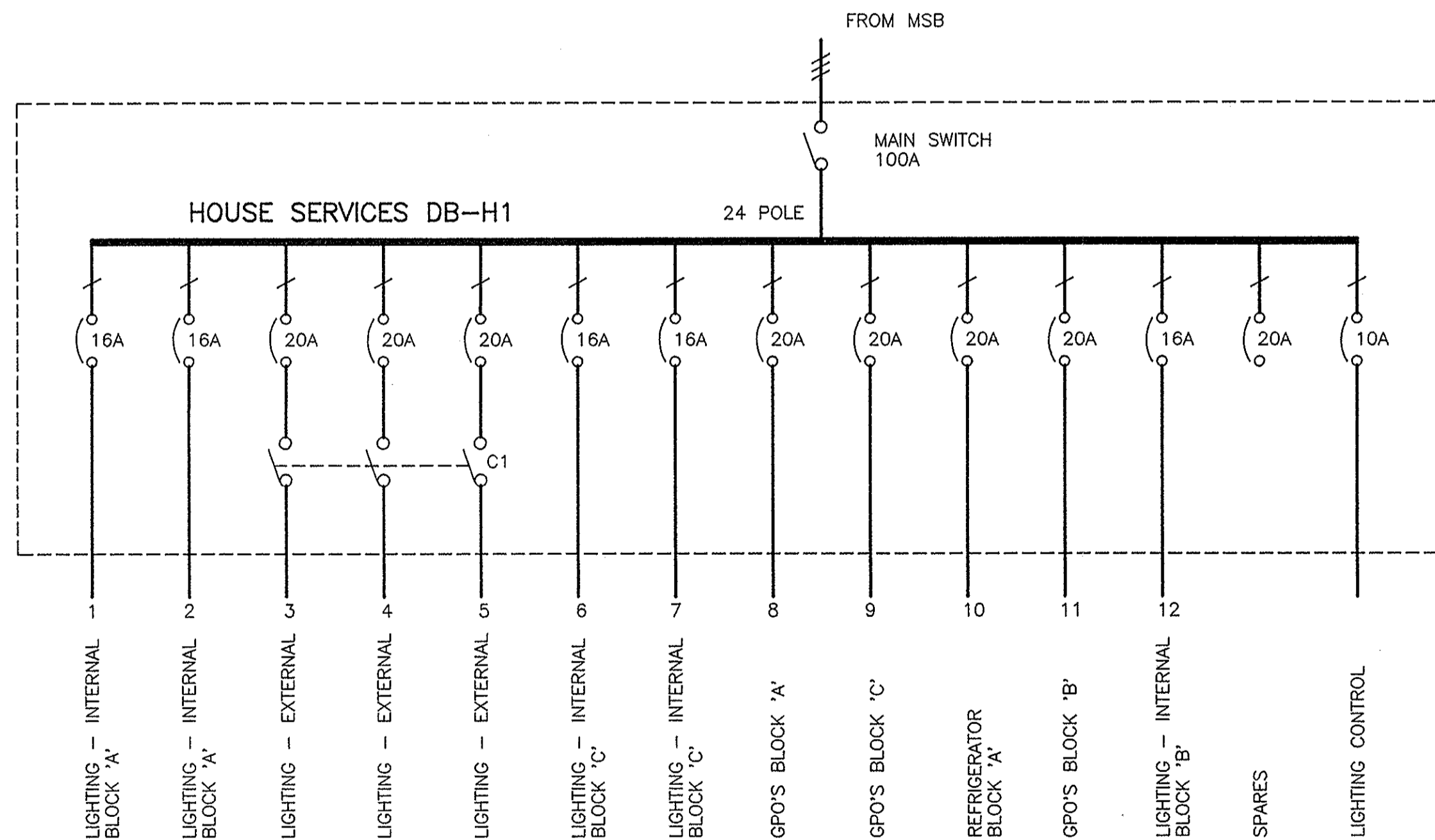
TYPICAL "UNIT" DIST. BOARD
SINGLE LINE DIAGRAM

NOTES:

1. FOR MAIN SINGLE LINE DIAGRAM REFER DRG. NO. E4



EXTERNAL LIGHTING CONTROL CIRCUIT



HOUSE DIST. BOARD H1
SINGLE LINE DIAGRAM

LUMINAIRE SCHEDULE

- BATTENHOLDER (LAMP AS SPECIFIED)
- ① 1 x 22W FLUORESCENT LUMINAIRE 'PRISMA' CAT. No. 5020 TYPE 'DROP 25'
- ② 1 x 32W FLUORESCENT LUMINAIRE 'PRISMA' TYPE 'NOVA BIG' CAT. No. 1378
- ③ 1 x 13W FLUORESCENT LUMINAIRE 'BEGA' CAT. No. 6492
- ④ 1 x 50W MERCURY VAPOUR LUMINAIRE 'BEGA' CAT. No. 6494 + 996494 (ARM)
- ⑤ 2 x 80W FLUORESCENT LUMINAIRE 'BEGA' CAT. No. 9171 + 999757 ARM ASSEMBLY ELECTRICAL CONTRACTOR IS TO SUPPLY AND INSTALL 75mm GALVANISED STEEL (3000mm HIGH) POLE COMPLETE WITH BASE PLATE ALL TO BE POWERCOATED FINISH COLOUR WHITE
- ⑥ 1 x 50W MERCURY VAPOUR BOLLARD LUMINAIRE THORN-ALI CAT. No. AL619
- ⑦ 1 x 13W FLUORESCENT LUMINAIRE 'BEGA' CAT. No. 6492 (PENDANT TYPE)
- ⑧ 1 x 80W FLUORESCENT LUMINAIRE 'BEGA' CAT. No. 9171 + 999755 ARM ASSEMBLY ELECTRICAL CONTRACTOR IS TO SUPPLY AND INSTALL 75mm GALVANISED STEEL (3000mm HIGH) POLE COMPLETE WITH BASE PLATE ALL TO BE POWERCOATED FINISH COLOUR WHITE
- ⑨ 2 x 9W FLUORESCENT LUMINAIRE 'PRISMA' TYPE 'EKO GRILL' CAT. No. 5071

NOTE

ALL LUMINAIRES TO BE WHITE COLOUR
ALL LAMPS TO BE SUPPLIED WITH LUMINAIRES
ALL BEGA LUMINAIRES TO INCLUDE MOUNTING BRACKETS FOR WALL AND POLE
FOR POLE & BOLLARD LUMINAIRE CONCRETE BASES REFER TO THE SPECIFICATION

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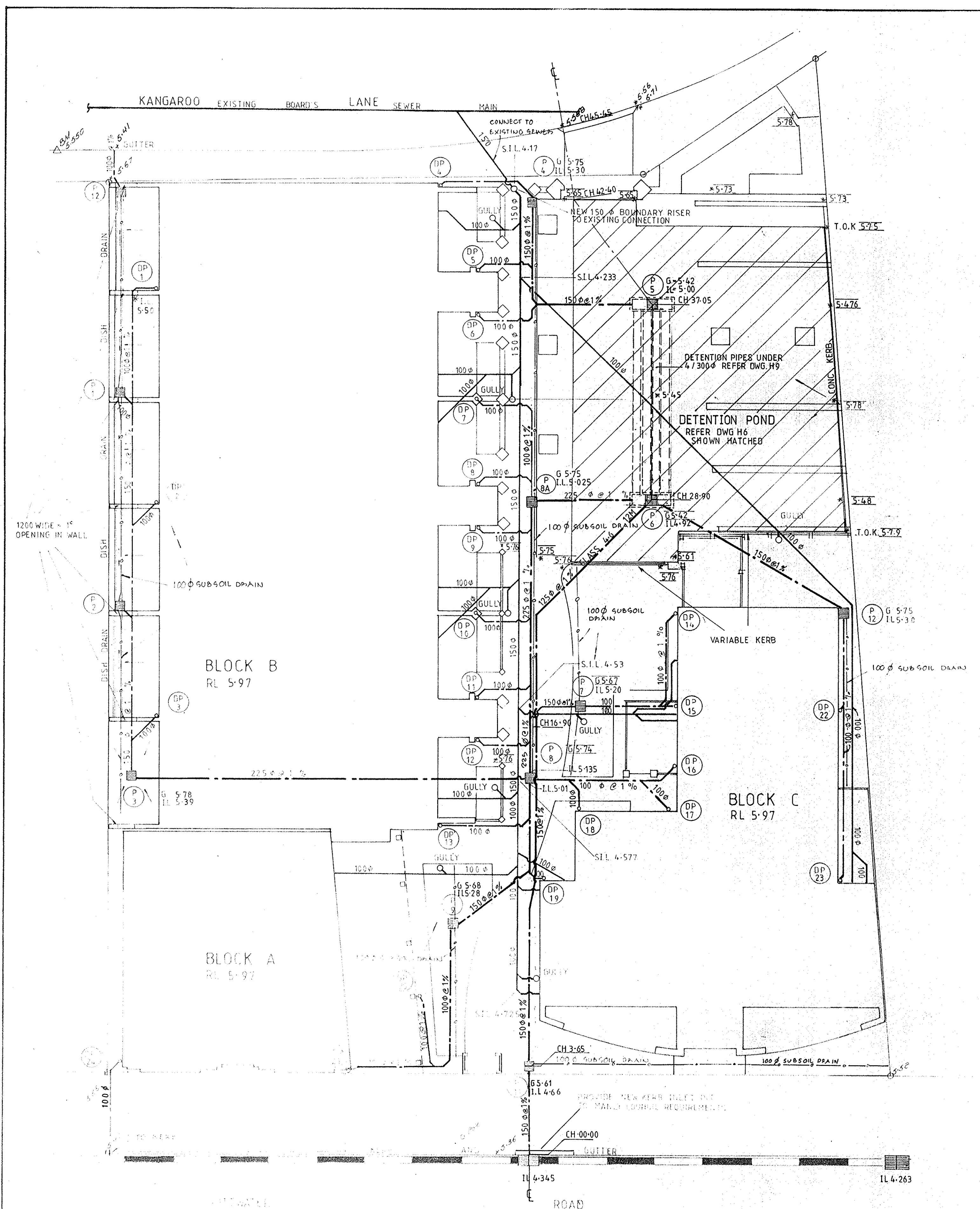
ARCHITECT: INNOVAC DYER ARCHITECTS
47 NERIDAH ST., CHATSWOOD
TEL: 419 7299

PROJECT: REHABILITATION AND INFILL HOUSING
AT: 61-63 PITWATER ROAD, MANLY
FOR: DEPARTMENT OF HOUSING

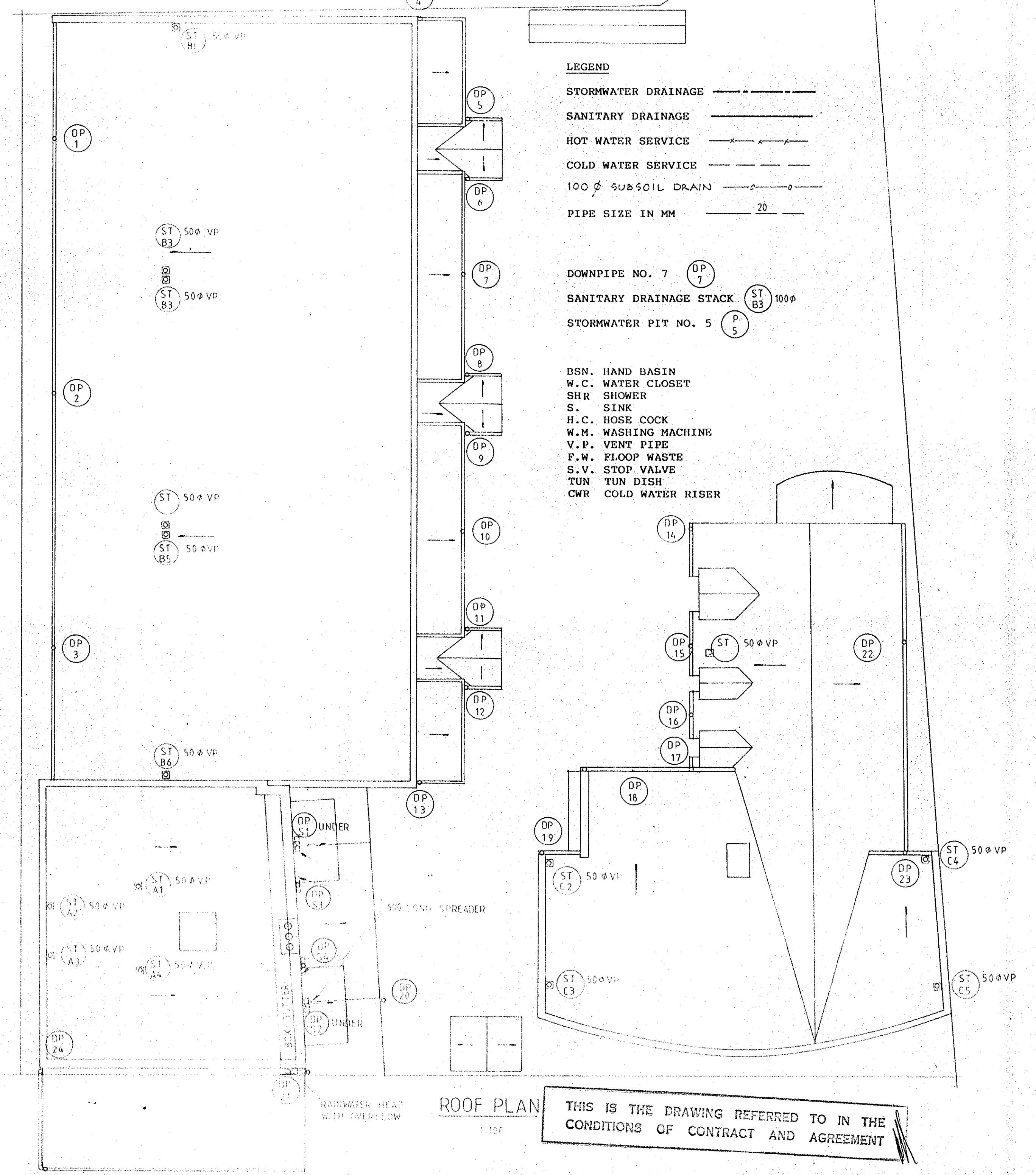
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3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

ELECTRICAL SERVICES
TITLE: SINGLE LINE DIAGRAMS & DETAILS

| DESIGN | A.P. | APPRD | DATE |
|---|-------------|------------|----------|
| R.G. <td> </td> <td> </td> <td>11.12.91 </td> | | | 11.12.91 |
| No IN SET | JOB No | DRAWING No | REV |
| 5 | 25108/1/123 | 1573-E5 | |



SITE PLAN



ROOF PLAN

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

STORMWATER NOTES

- All pipes and stormwater structures shall be in strict accordance with the relevant S.A.A. Codes for materials and workmanship and to the rules and regulations of the local Council.
- The drawings are diagrammatical and set-outs shall be checked with the architectural drawings.
- All levels and dimensions shall be checked on site.
- Pipe materials indicated may be altered provided they comply with the requirements of the relevant Authorities.
- Gutters and downpipes shall be in strict accordance with AS.2179 and AS.2180. Gutters shall have a minimum effective cross-sectional area of 7,500mm² and 100 x 75 downpipes.
- Stormwater pipes up to and including 225 dia. shall be UPVC pipes sewer grade conforming to AS.1260 and installed in accordance with AS.2032.
- All existing services to be located prior to the commencement of construction. Any costs incurred for adjustment and/or relocation of services are to be borne by the applicant.
- Provide overland flow paths from all pits and ponds and drain to street.

NOTE: ALL STORMWATER AND SANITARY DRAINAGE 100 DIA. U.C.N.

REVISION A 1-9-92 ON SITE S.W. DETENTION ADDED

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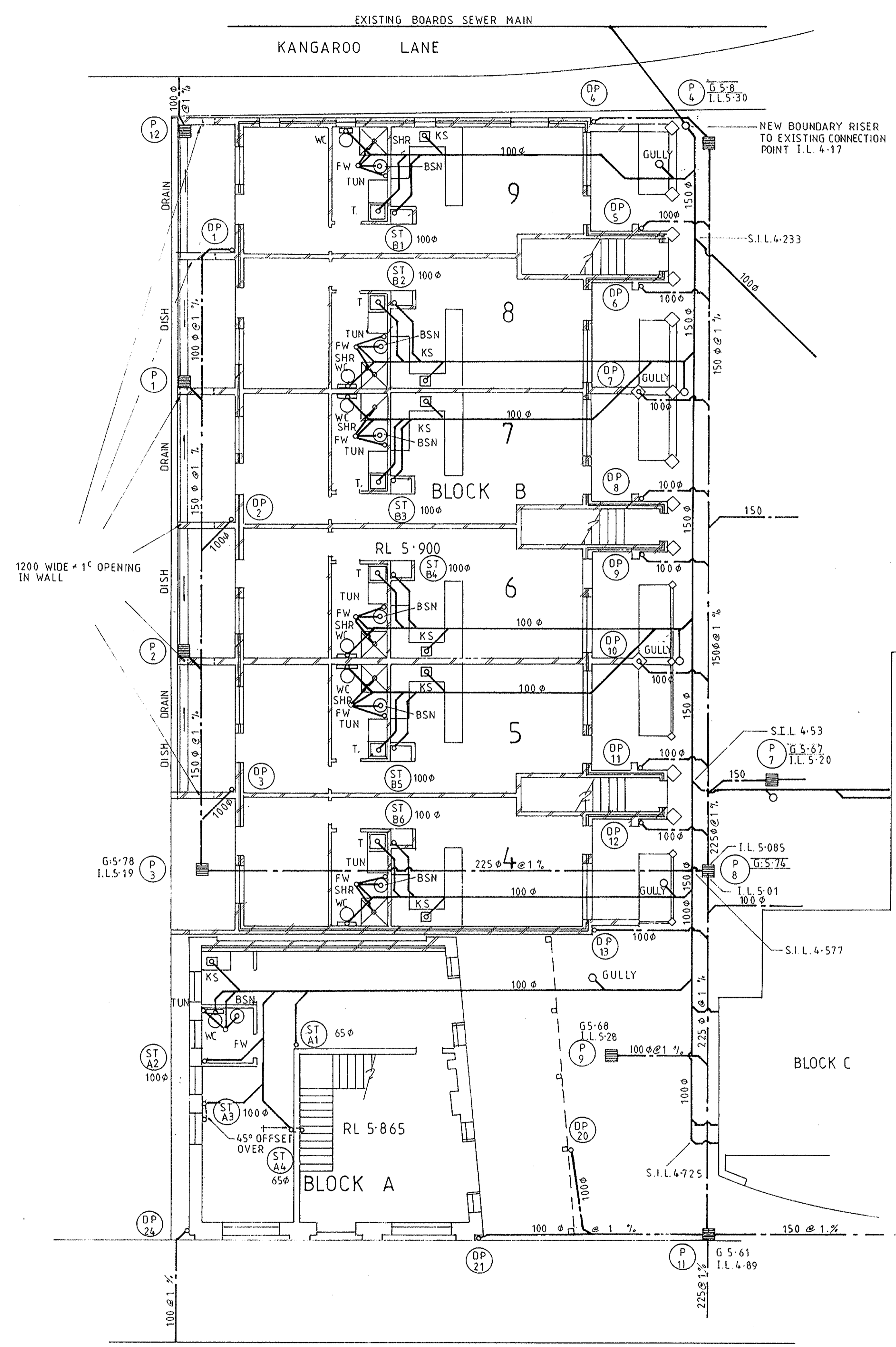
Approved: [Signature] Chartered Engineer 6559

DEPARTMENT OF HOUSING
 APPROVED FOR ISSUE

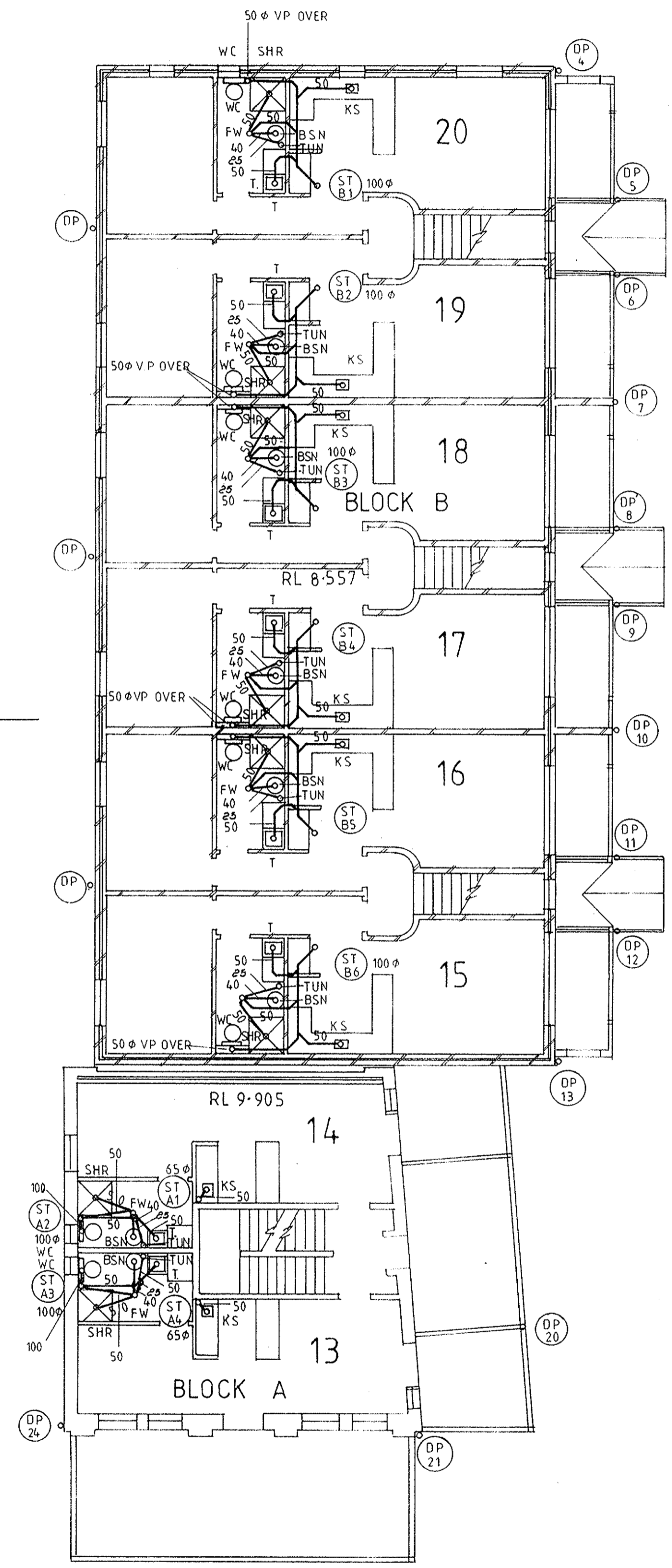
MANAGER

PROJECT: REHABILITATION AND INFILL HOUSING
 LOCALITY: MANLY
 TITLE: DRAINAGE - ROOF PLAN

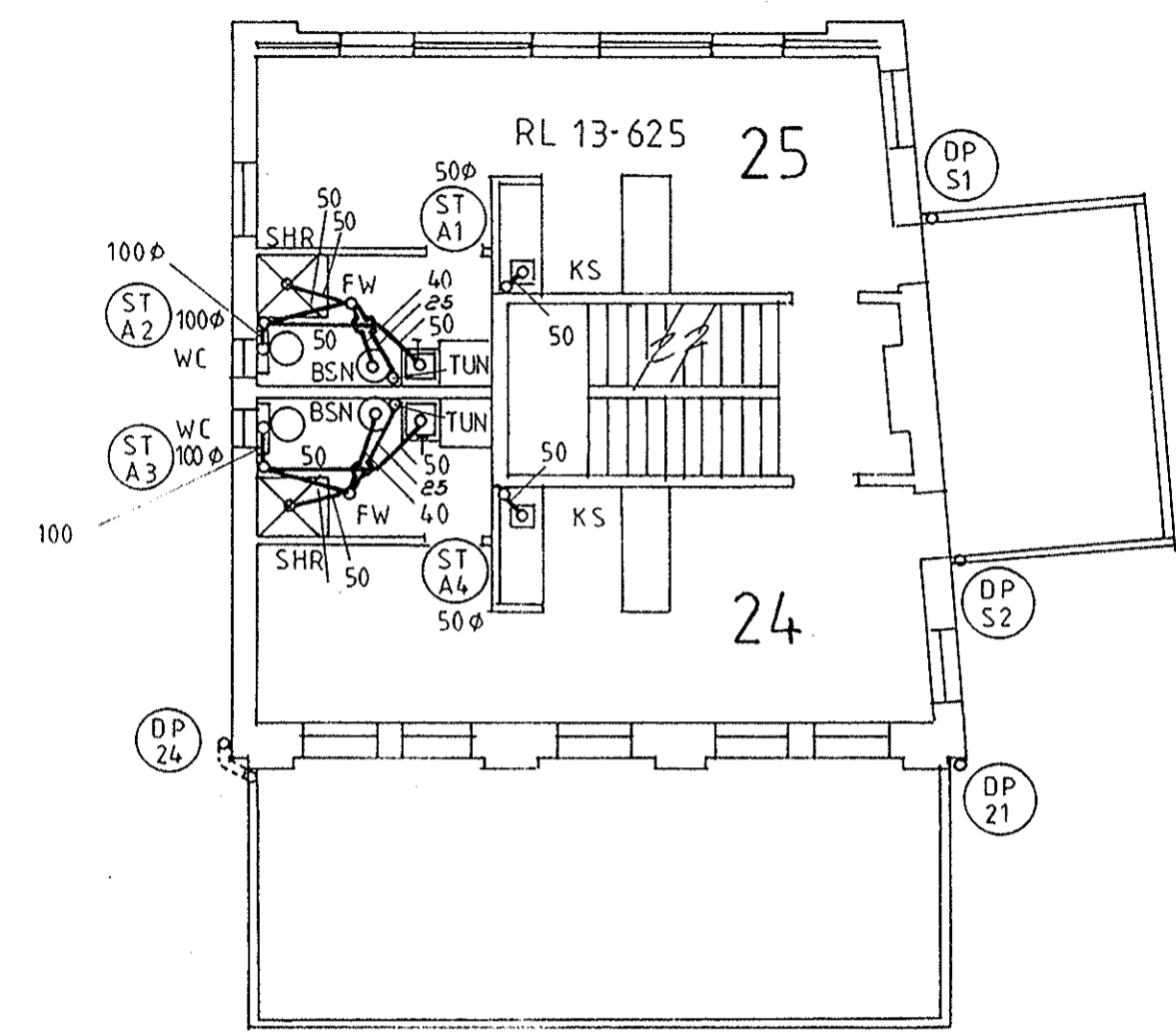
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| DATE 9-3-92 | 25108-001-01-02-03 |
| DRAWN RA | DWG N° |
| CHECKED D.A.B. | H 1 ^A |



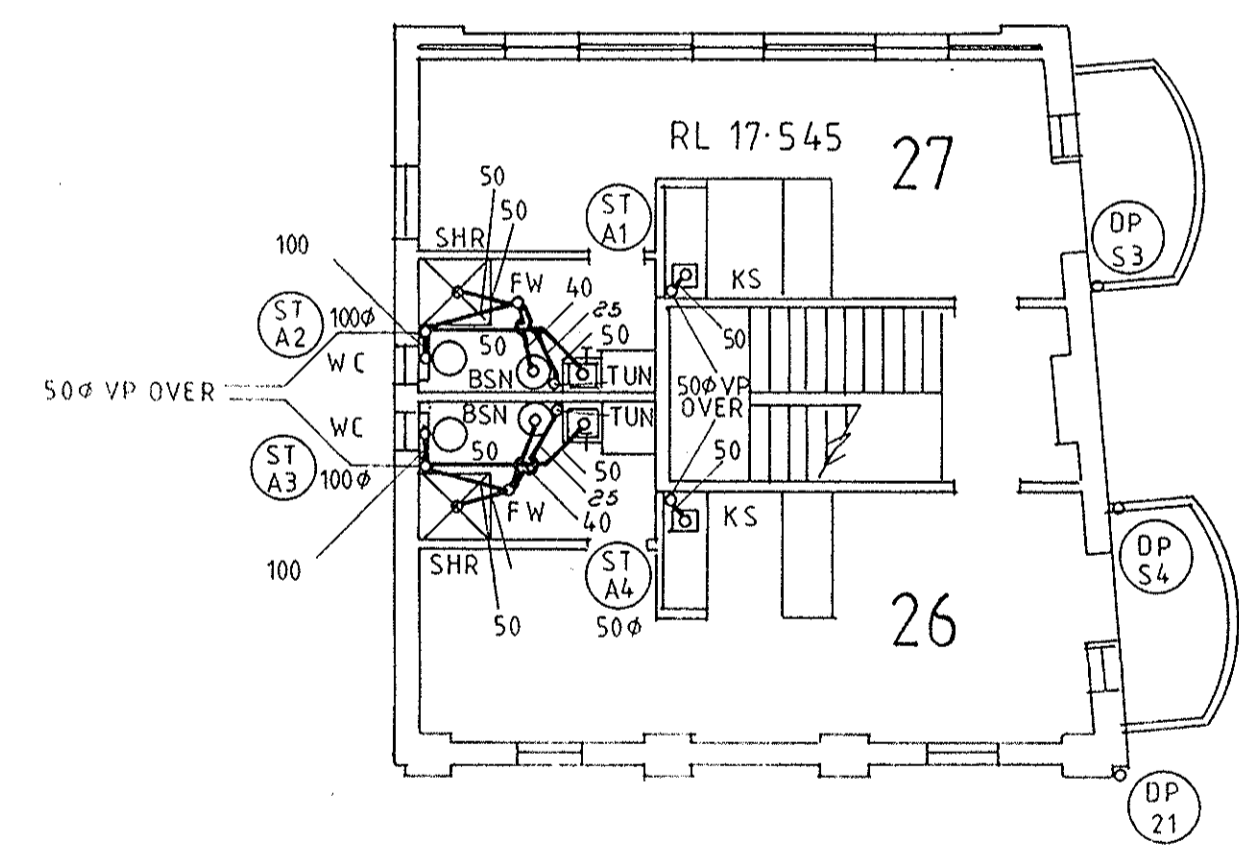
PITWATER ROAD
GROUND FLOOR PLAN BLOCK A & B



FIRST FLOOR PLAN BLOCK A & B



SECOND FLOOR PLAN BLOCK A



THIRD FLOOR PLAN BLOCK A

- LEGEND**
- STORMWATER DRAINAGE ————
 - SANITARY DRAINAGE ————
 - HOT WATER SERVICE ————
 - COLD WATER SERVICE ————
 - HOT WATER RETURN ————
 - PIPE SIZE IN MM ———— 20

- DOWNPIPE NO. 7 (DP 7)
- SANITARY DRAINAGE STACK (ST B3) 100φ
- STORMWATER PIT NO. 5 (P 5)

- BSN. HAND BASIN
- W.C. WATER CLOSET
- SHR. SHOWER
- S. SINK
- H.C. HOSE COCK
- W.M. WASHING MACHINE
- V.P. VENT PIPE
- F.W. FLOOR WASTE
- S.V. STOP VALVE
- TUN. TUN DISH
- CWR. COLD WATER RISER

THIS IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT

ALL SANITARY DRAINAGE 100 DIA U.O.N.

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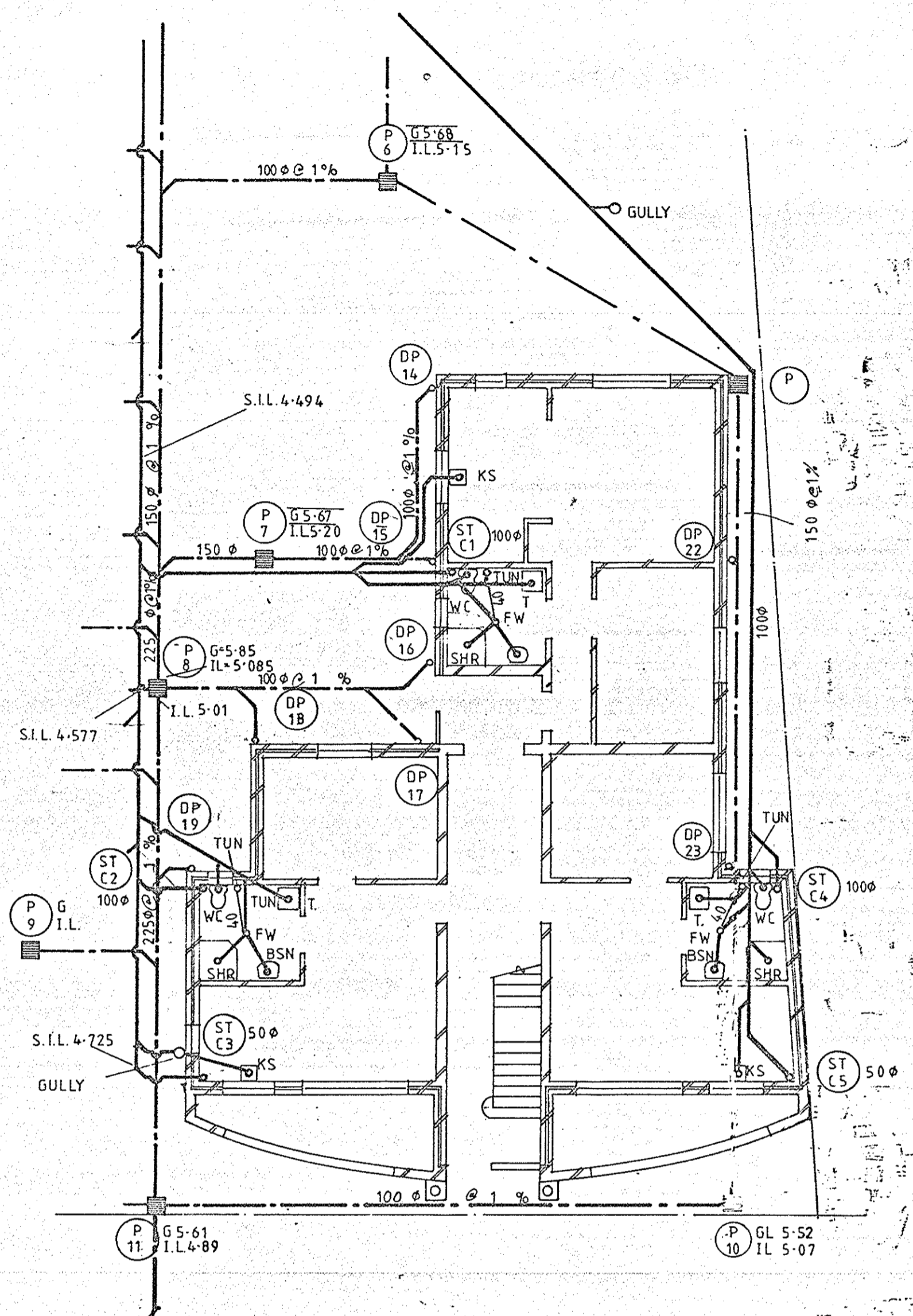
Approved: [Signature] Chartered Engineer 6559

DEPARTMENT OF HOUSING
APPROVED FOR ISSUE

MANAGER

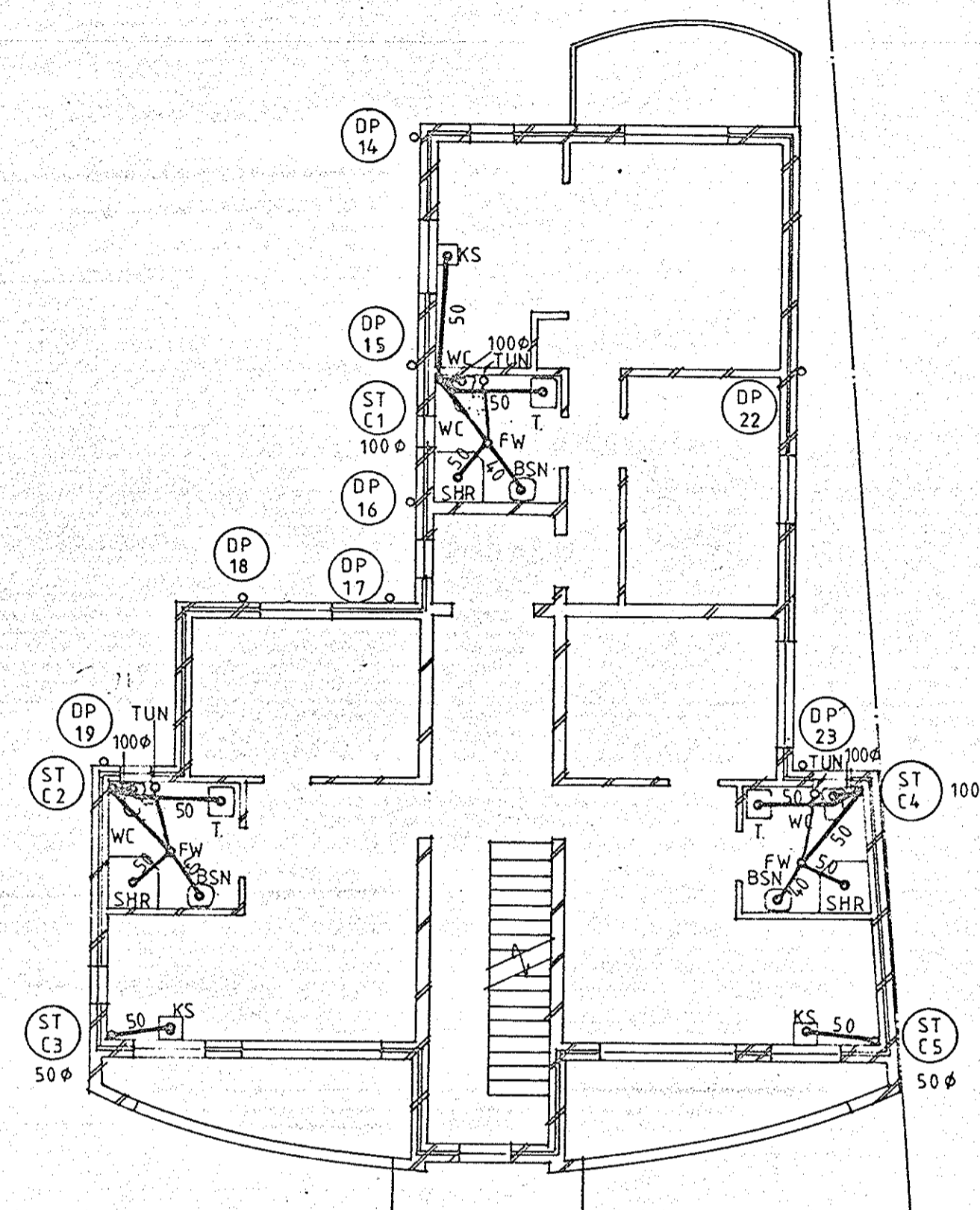
PROJECT: REHABILITATION AND INFILL HOUSING
LOCALITY: MANLY
TITLE: BLOCK A & B SANITARY DRAINAGE

| | |
|----------------|--------------------|
| SCALE 1:100 | JOB N° |
| DATE 9-3-92 | 25108-001-01-02-03 |
| DRAWN R.A. | DWG N° |
| CHECKED D.A.B. | H2 |



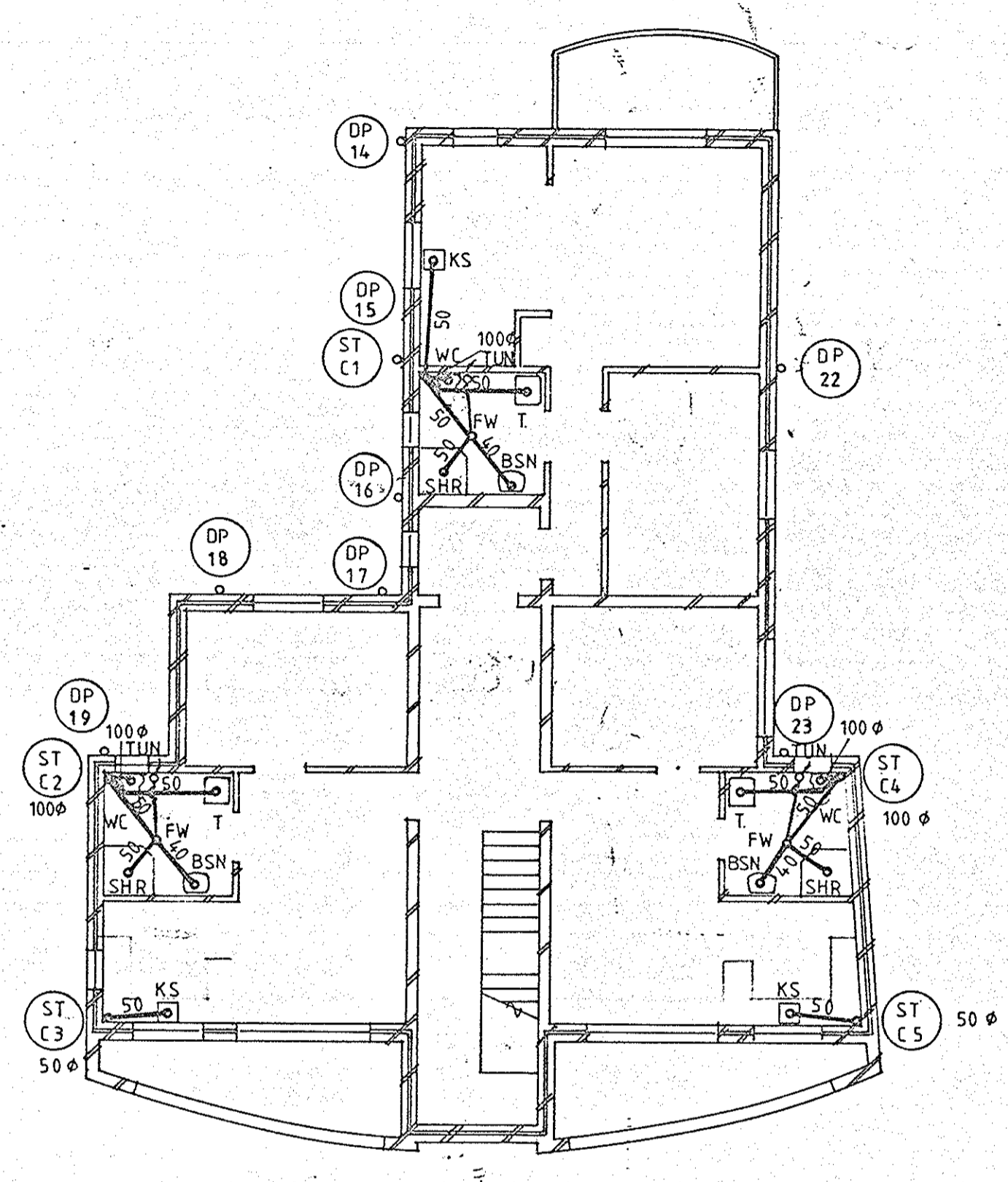
GROUND FLOOR

1:100



FIRST FLOOR

1:100



SECOND FLOOR

LEGEND

- STORMWATER DRAINAGE ————
- SANITARY DRAINAGE ————
- HOT WATER SERVICE ————
- COLD WATER SERVICE ————
- HOT WATER RETURN ————
- PIPE SIZE IN MM ———— 20

- DOWNPIPE NO. 7 (DP 7)
- SANITARY DRAINAGE STACK (ST B3) 100φ
- STORMWATER PIT NO. 5 (P 5)

- BSN. HAND BASIN
- W.C. WATER CLOSET
- SHR SHOWER
- S. SINK
- H.C. HOSE COCK
- W.M. WASHING MACHINE
- V.P. VENT PIPE
- F.W. FLOOR WASTE
- S.V. STOP VALVE
- TUN TUN DISH
- CWR COLD WATER RISER

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

ALL SANITARY DRAINAGE 100 DIA U.O.N

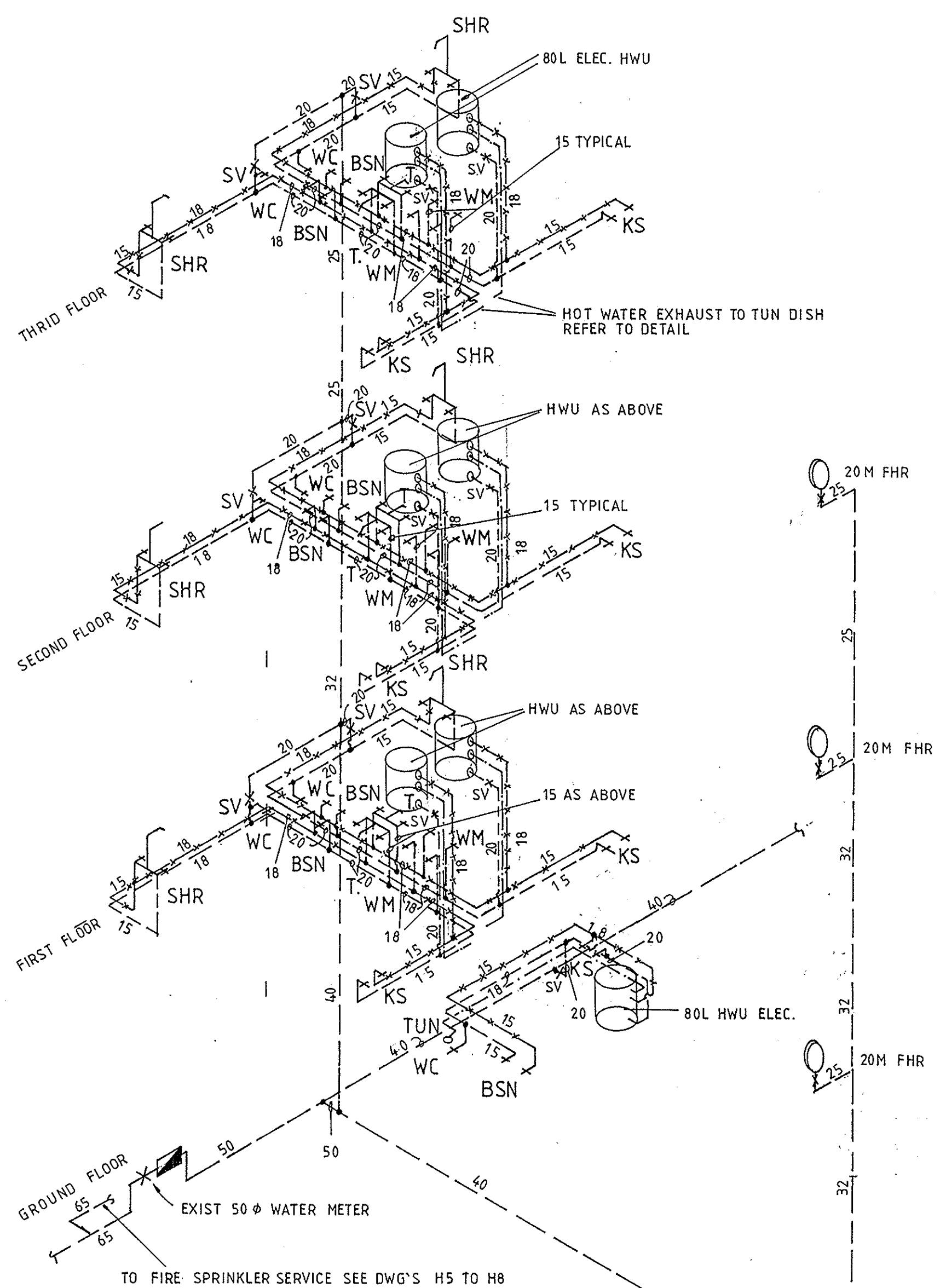
BURGESS & ARNOTT PTY. LTD.
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Approved: *[Signature]* Chartered Engineer 6559

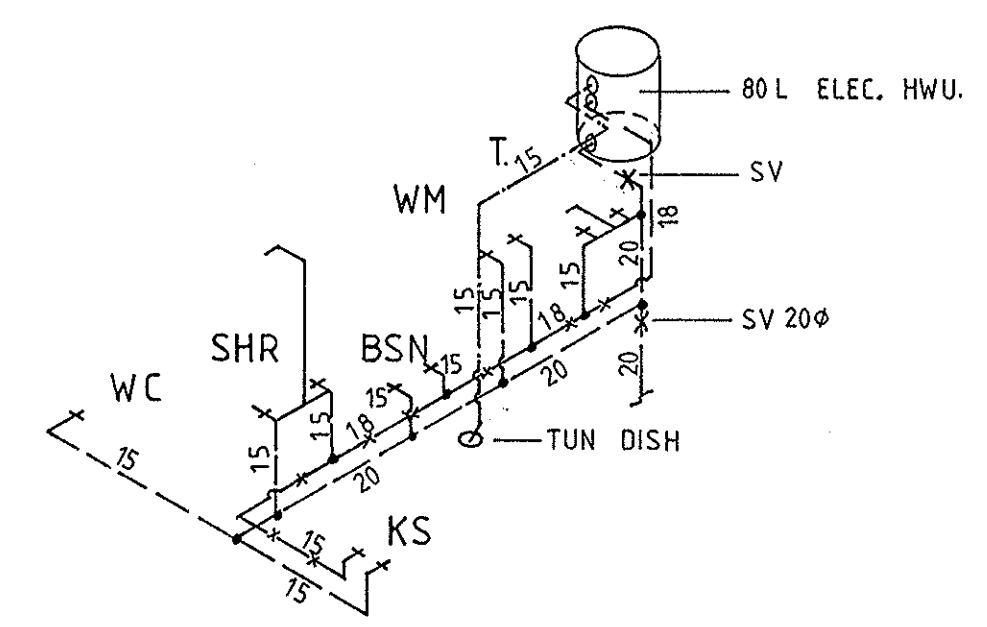
DEPARTMENT OF HOUSING
 APPROVED FOR ISSUE
 MANAGER

PROJECT: REHABILITATION AND INFILL HOUSING
 LOCALITY: MANLY
 TITLE: SANITARY DRAINAGE BLOCK C

| | |
|----------------|--------------------|
| SCALE 1:100 | JOB N° |
| DATE 9-3-92 | 25108-001-01-02-03 |
| DRAWN R.A. | DWG N° |
| CHECKED D.A.B. | H3 |

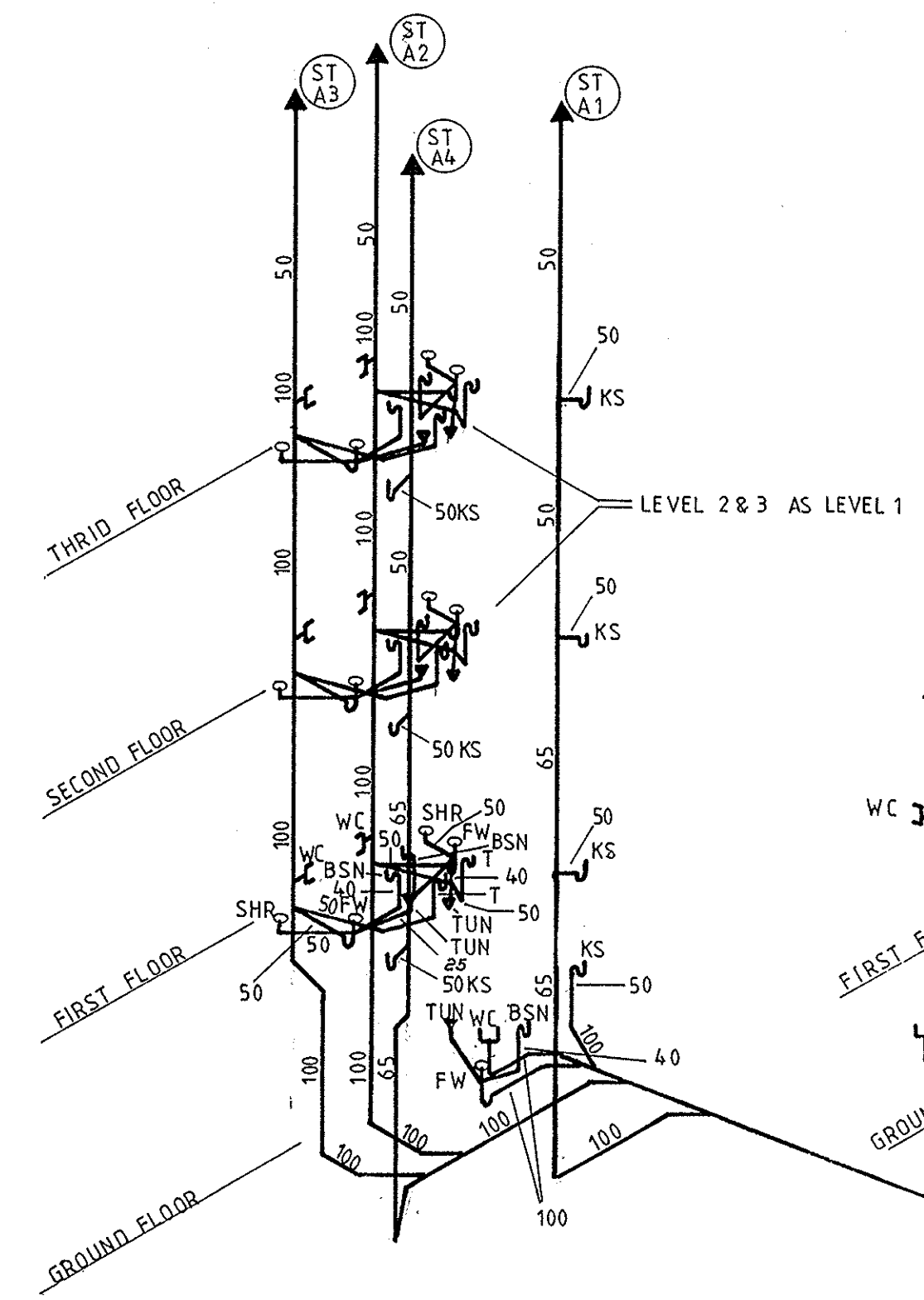


HOT AND COLD WATER BLOCK A

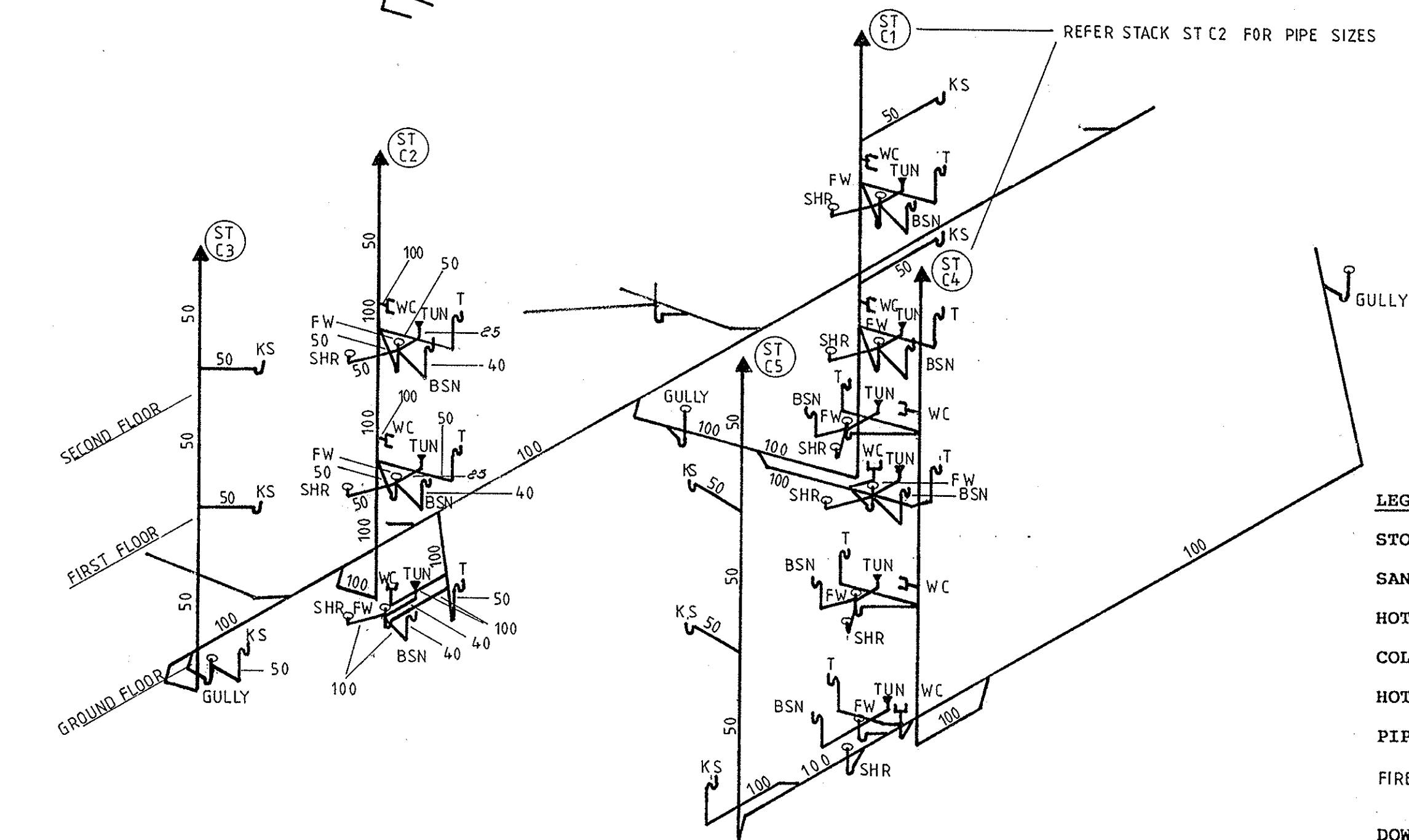


TYPICAL HOT AND COLD WATER LAYOUT UNITS 4 TO 9 - 15 TO 20

REVISION A 24-2-93 FIRE HOSE REELS ADDED



SANITARY DRAINAGE BLOCK A AND B



SANITARY DRAINAGE BLOCK C

SANITARY DRAINAGE

All work shall comply with the Water Board's Rules and Regulations.

All levels shall be verified on site, junction positions located and level of existing sewers verified.

For sewers laid on gradients of 1 in 5 or steeper, concrete bulkheads 150mm thick shall be provided across the full width of the trench and anchored into sides of trench. The bulkhead shall extend from the bottom of the trench to a height of not less than 150mm above the pipe.

Provide boundary trap to the Water Board's direction where indicated on plan.

All pipe work shall be laid in P.V.C. or other approved material in accordance with the relevant S.A.A. standard.

All necessary applications and payment of fees and charges shall be made by the contractor.

- LEGEND**
- STORMWATER DRAINAGE ————
 - SANITARY DRAINAGE ————
 - HOT WATER SERVICE ————
 - COLD WATER SERVICE ————
 - HOT WATER RETURN ————
 - PIPE SIZE IN MM ————
 - FIRE SPRINKLER SERVICE —FS—FS—
 - DOWNPIPE NO. 7 (DP 7)
 - SANITARY DRAINAGE STACK (ST B3) 100mm
 - STORMWATER PIT NO. 5 (P 5)
 - F.H.R. FIRE-HOSE REEL
 - B.S.N. HAND BASIN
 - W.C. WATER CLOSET
 - SHR SHOWER
 - S. SINK
 - H.C. HOSE COCK
 - W.M. WASHING MACHINE
 - V.P. VENT PIPE
 - F.W. FLOOR WASTE
 - S.V. STOP VALVE
 - TUN TUN DISH
 - C.W.R. COLD WATER RISER

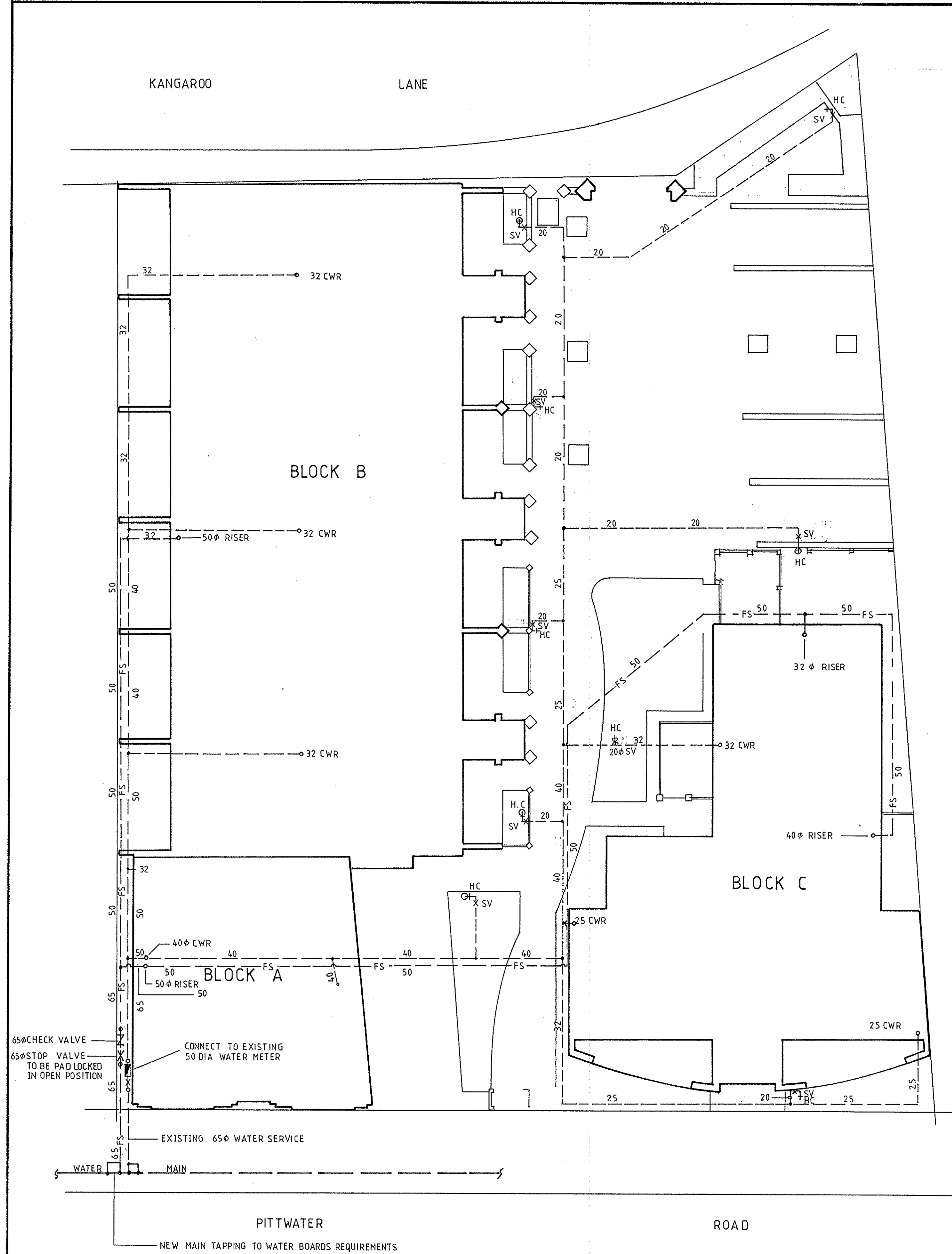
THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

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 Approved [Signature] Chartered Engineer 6559

DEPARTMENT OF HOUSING

PROJECT: REHABILITATION AND INFILL HOUSING
 LOCALITY: MANLY
 HOT AND COLD WATER ELEVATIONS BLOCK A & B
 TITLE: SANITARY DRAINAGE ELEVATIONS

| | |
|----------------|--------------------|
| SCALE N.T.S. | JOB N° |
| DATE 9-3-92 | 25108-001-01-02-03 |
| DRAWNR. A | DWG N° |
| CHECKED D.A.B. | H4 |



SITE PLAN
 1:100
 LEGEND
 COLD WATER SERVICE ———
 FIRE SPRINKLER SERVICE — FS — FS —

WATER SUPPLY & FIRE SERVICE
 All work shall conform to the Water Board's Rules and Regulations and the relevant S.A.A. standards.
 Type 'B' copper tube pipe shall be laid in trenches at approved depth with suitable protection. No pipe shall be laid within 600mm of an underground electrical cable.

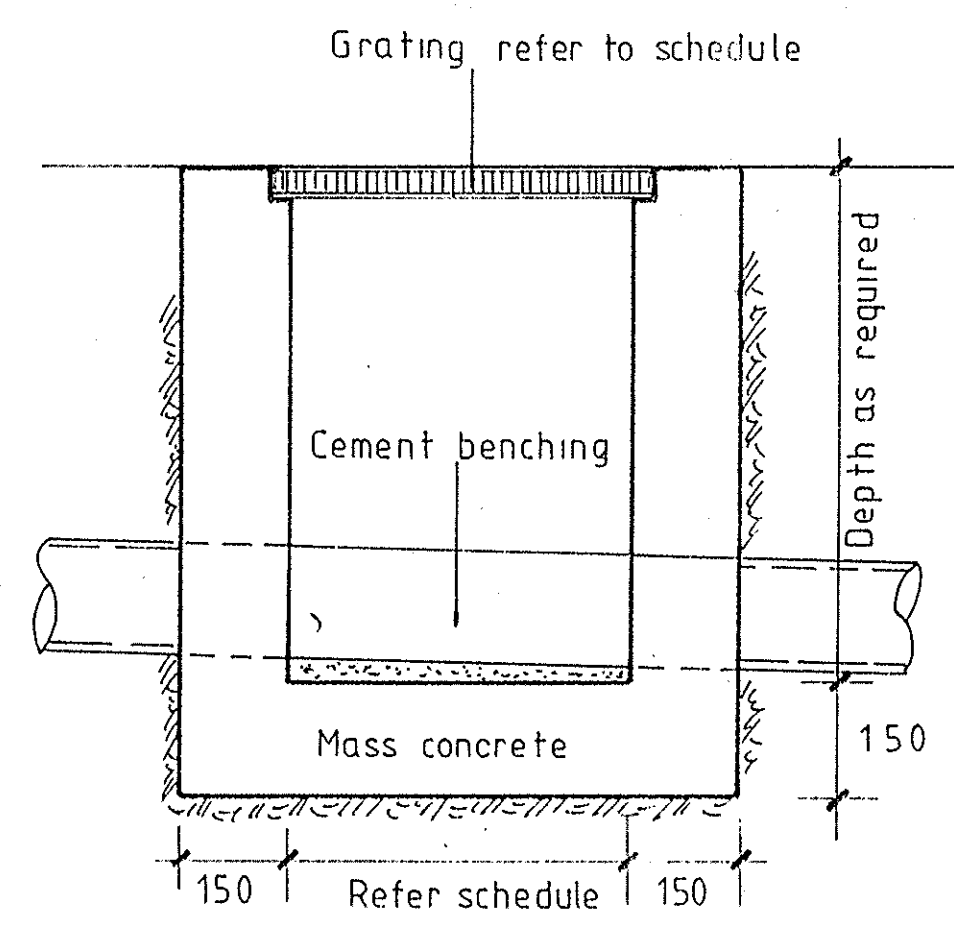
REVISION B 24-2-92 SPRINKLER ADDED
 REVISION A 30-8-92 P5 AND P6 ALTERED

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 Approved [Signature] Chartered Engineer 6559

DEPARTMENT OF HOUSING

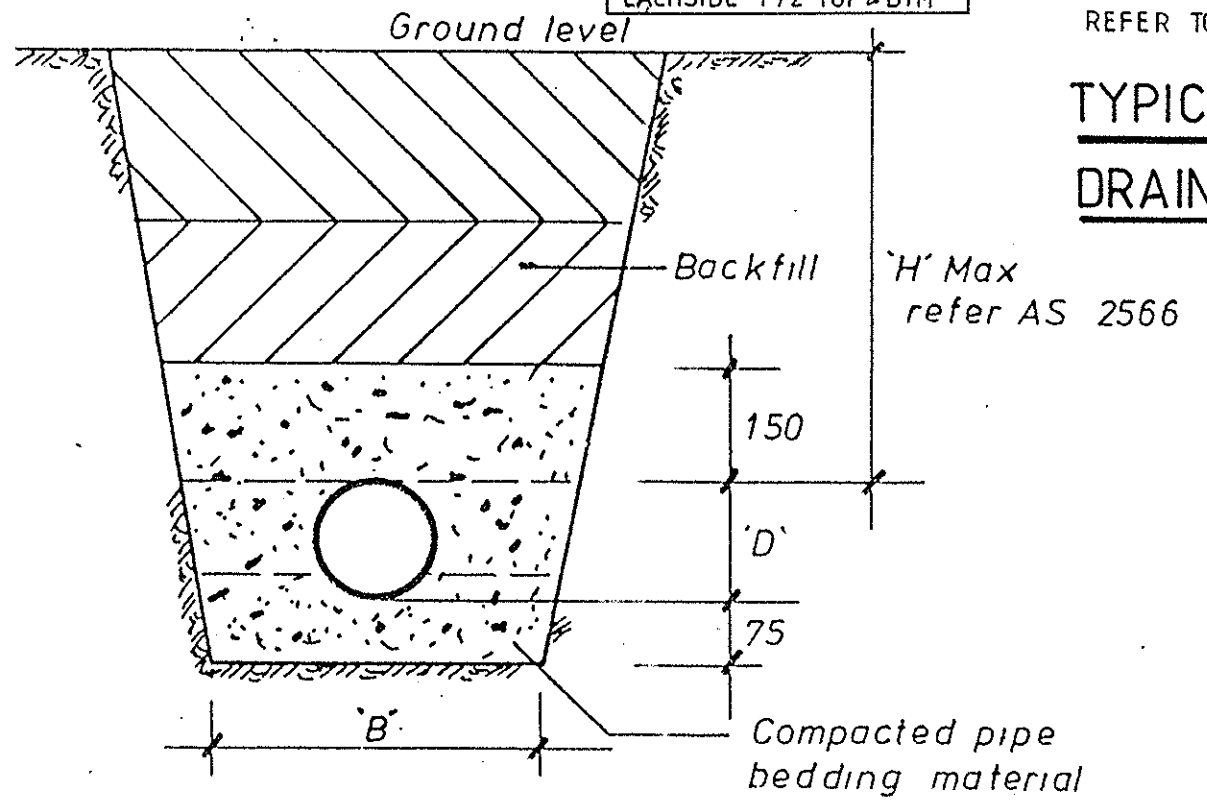
PROJECT: REHABILITATION AND INFILL HOUSING
 LOCALITY: MANLY
 TITLE: COLD WATER SITE PLAN AND HYDRAULIC DETAILS

SCALE AS SHOWN
 DATE 9-3-92
 DRAWN RA
 CHECKED D.A.B.
 JOB N° 25108-001-01-02-03
 DWG N° H5

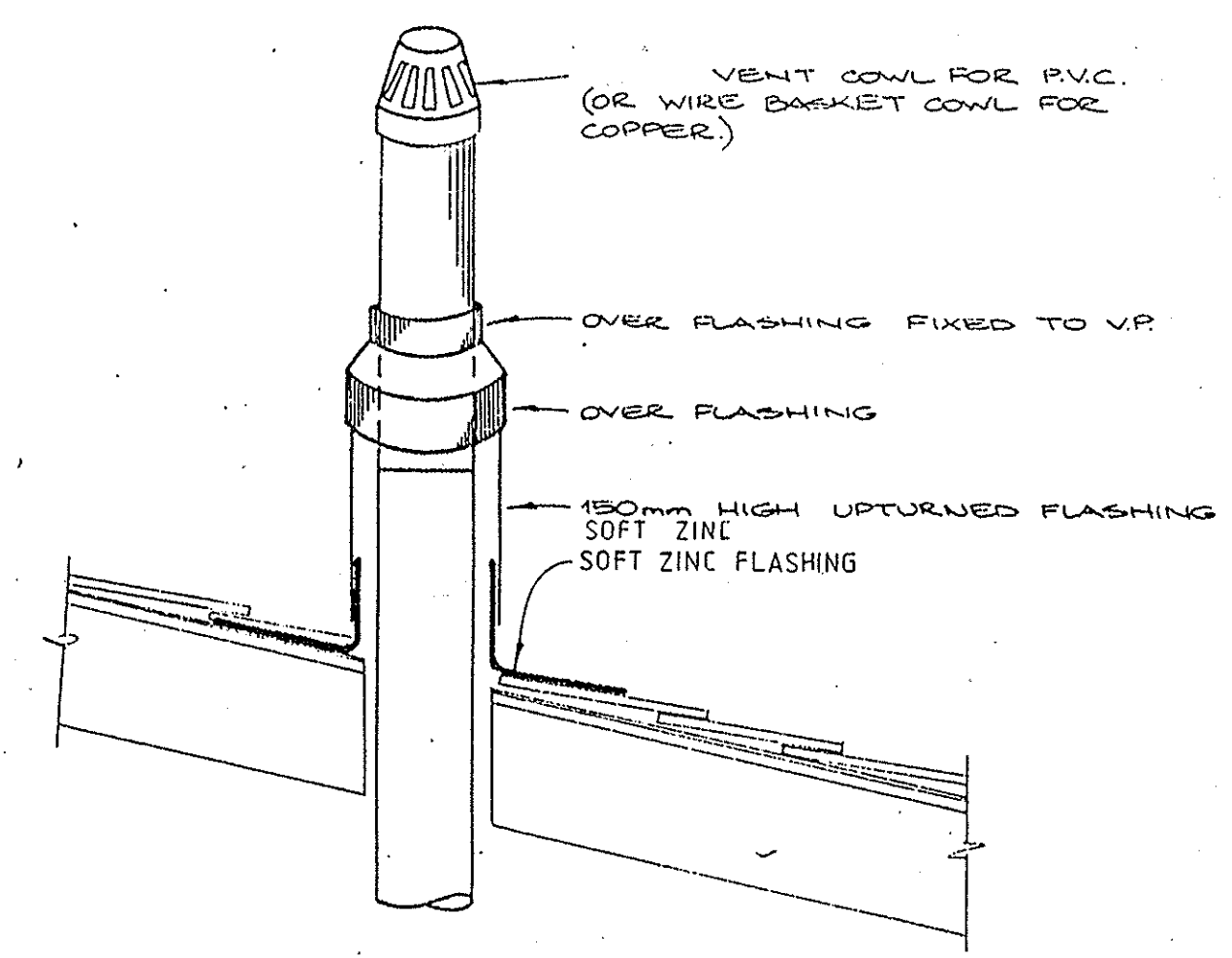


PIT DETAIL

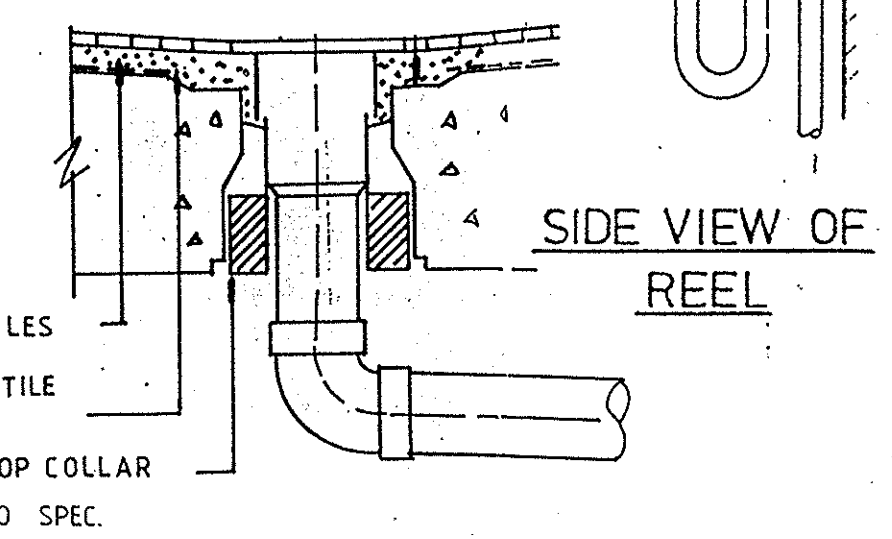
| Pit N° | Size | Grating type |
|------------------|------------|--|
| 1-2-3-4 | 450 x 450 | LIGHT DUTY CAST IRON |
| 5-6-7-8 | 450 x 450 | HEAVY DUTY CAST IRON |
| 9-10-11-12-13-14 | 450 x 450 | LIGHT DUTY CAST IRON |
| P5-P6 | 1700 x 450 | HEAVY DUTY CAST IRON 450 x 450.150 CONC LID EACHSIDE F72 TOP & BTM |



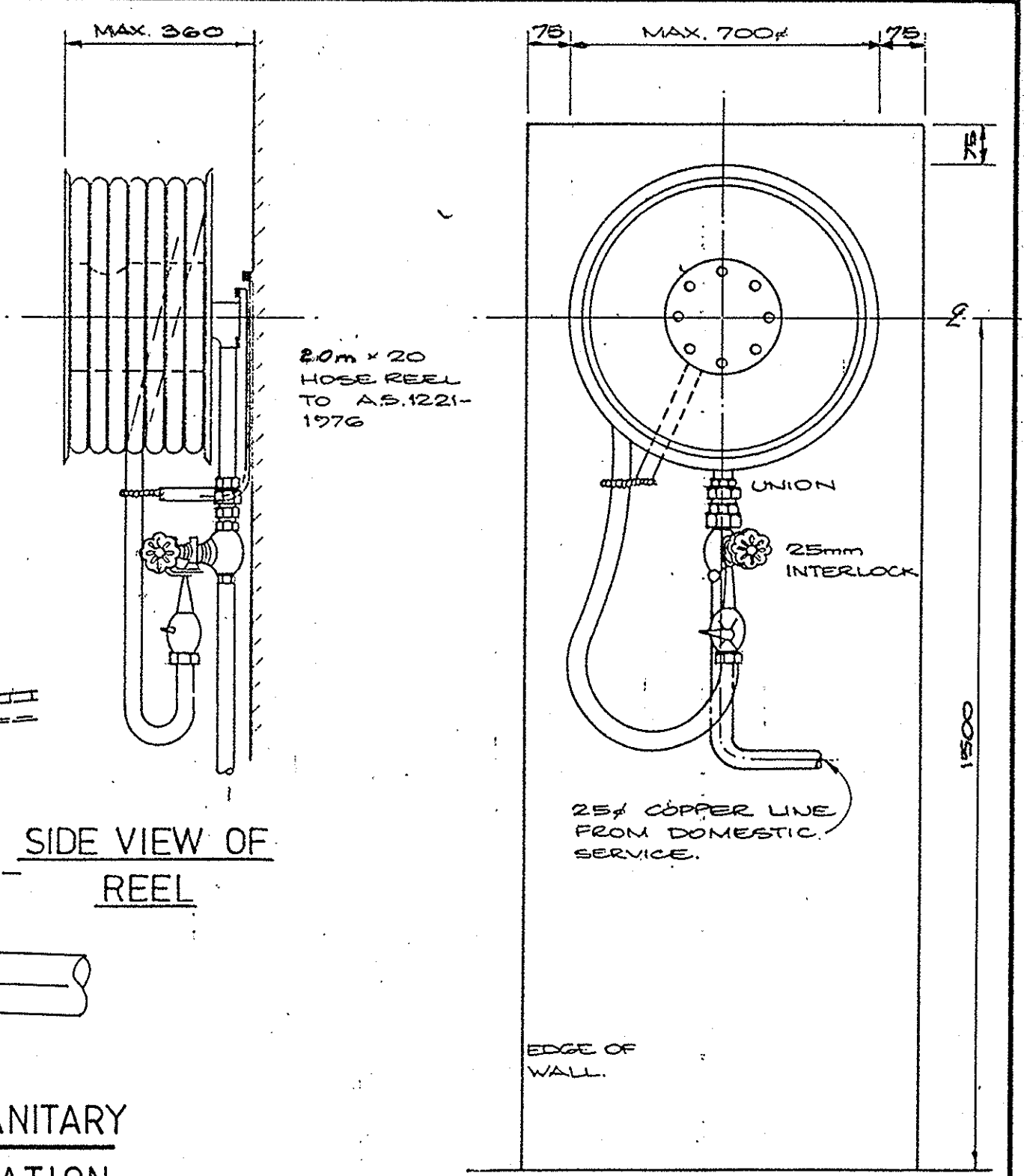
TYPICAL SECTION STORMWATER DRAIN
 FOR MATERIAL REFER AS 2566



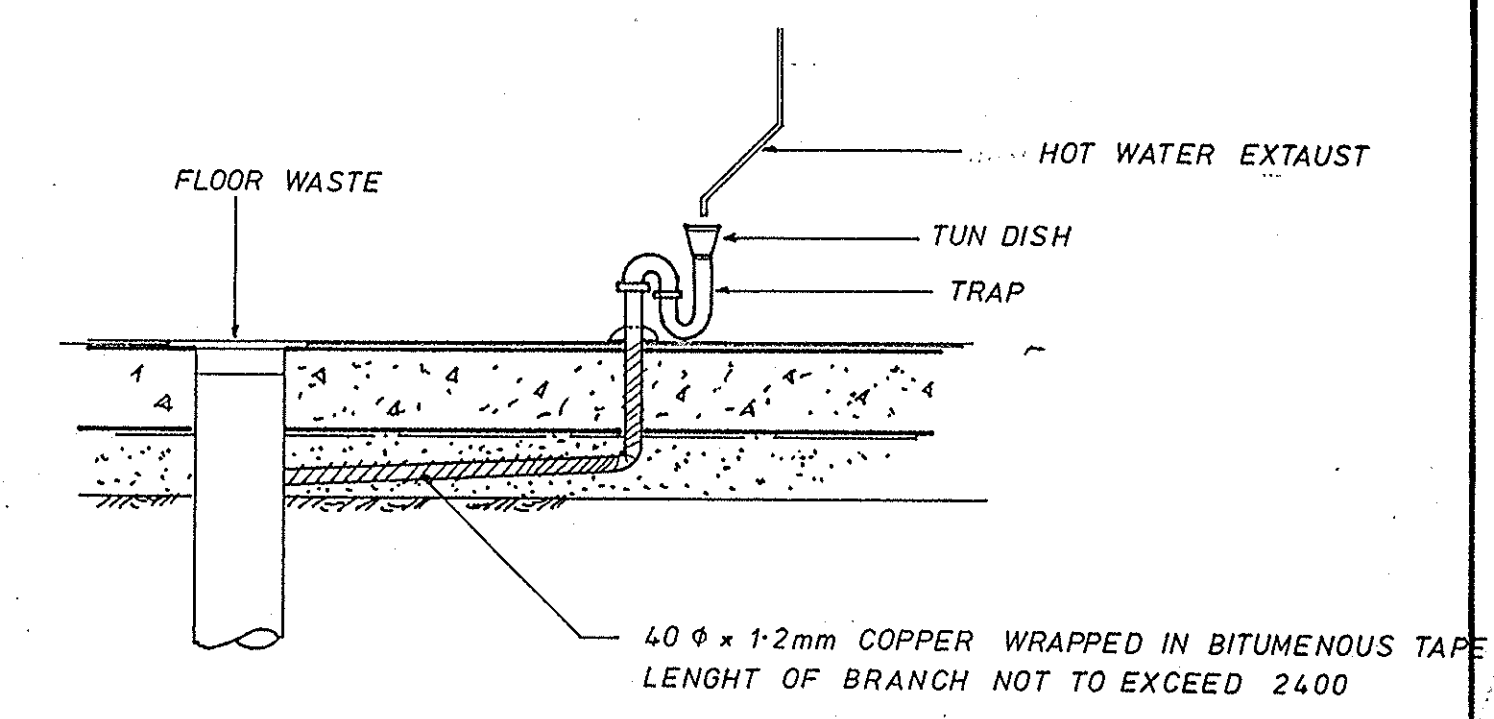
TYPICAL VENT PIPE THROUGH ROOF DETAIL
 N.T.S.



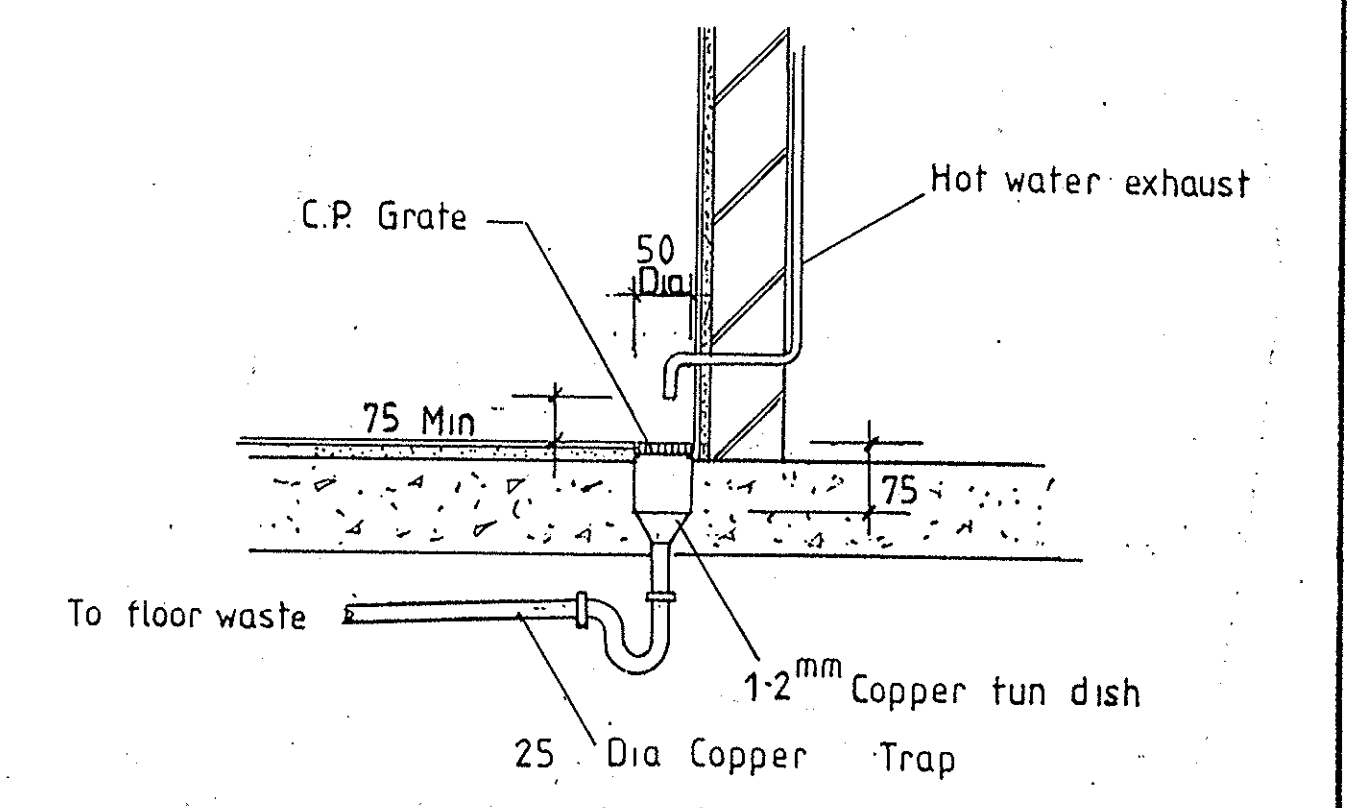
TYPICAL FIRST FLOOR SANITARY DRAINAGE SLAB PENETRATION



FIRE HOSE REEL DETAIL
 N.T.S.

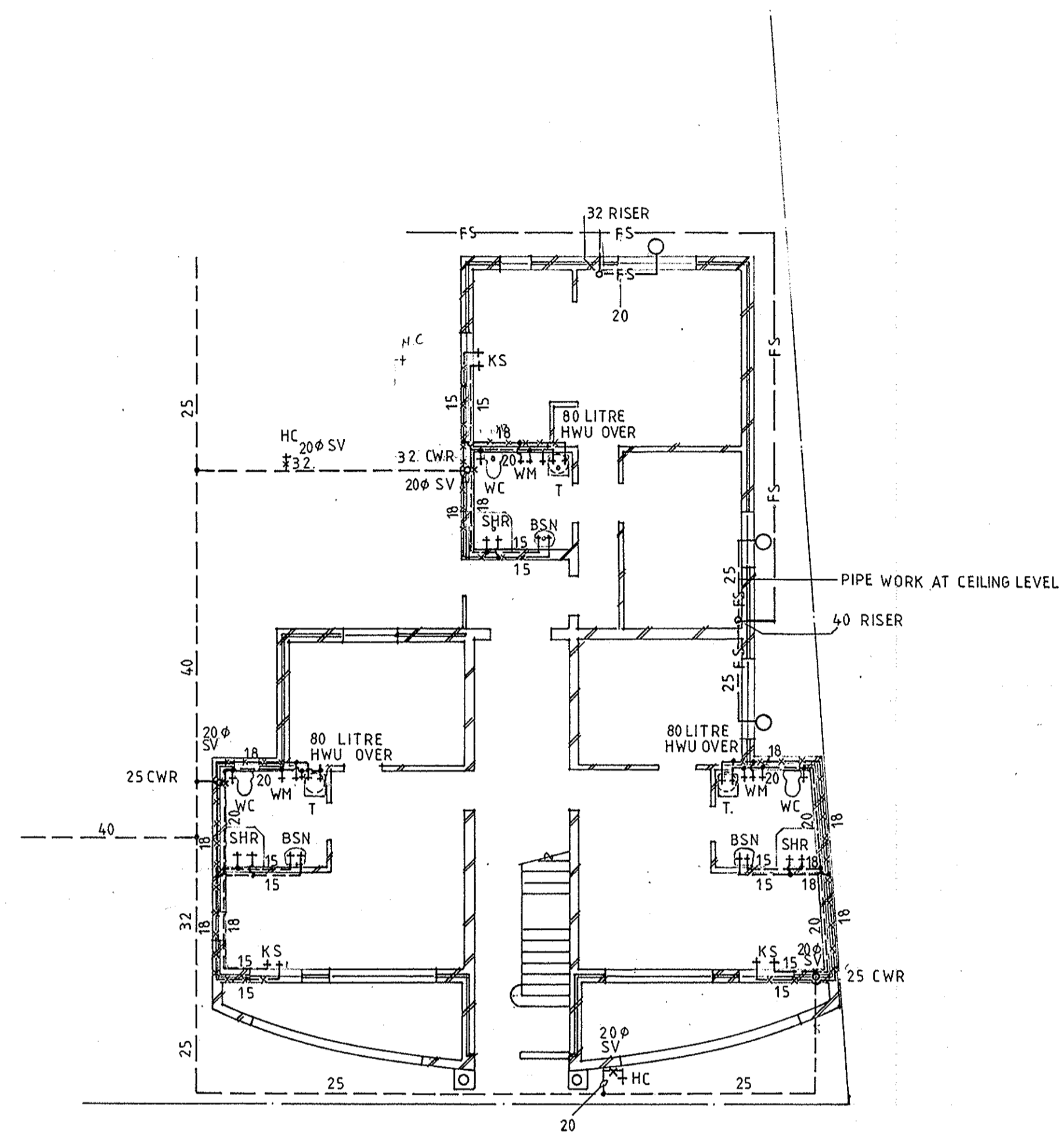


HOT WATER EXHAUST DETAIL
 GROUND FLOOR ONLY

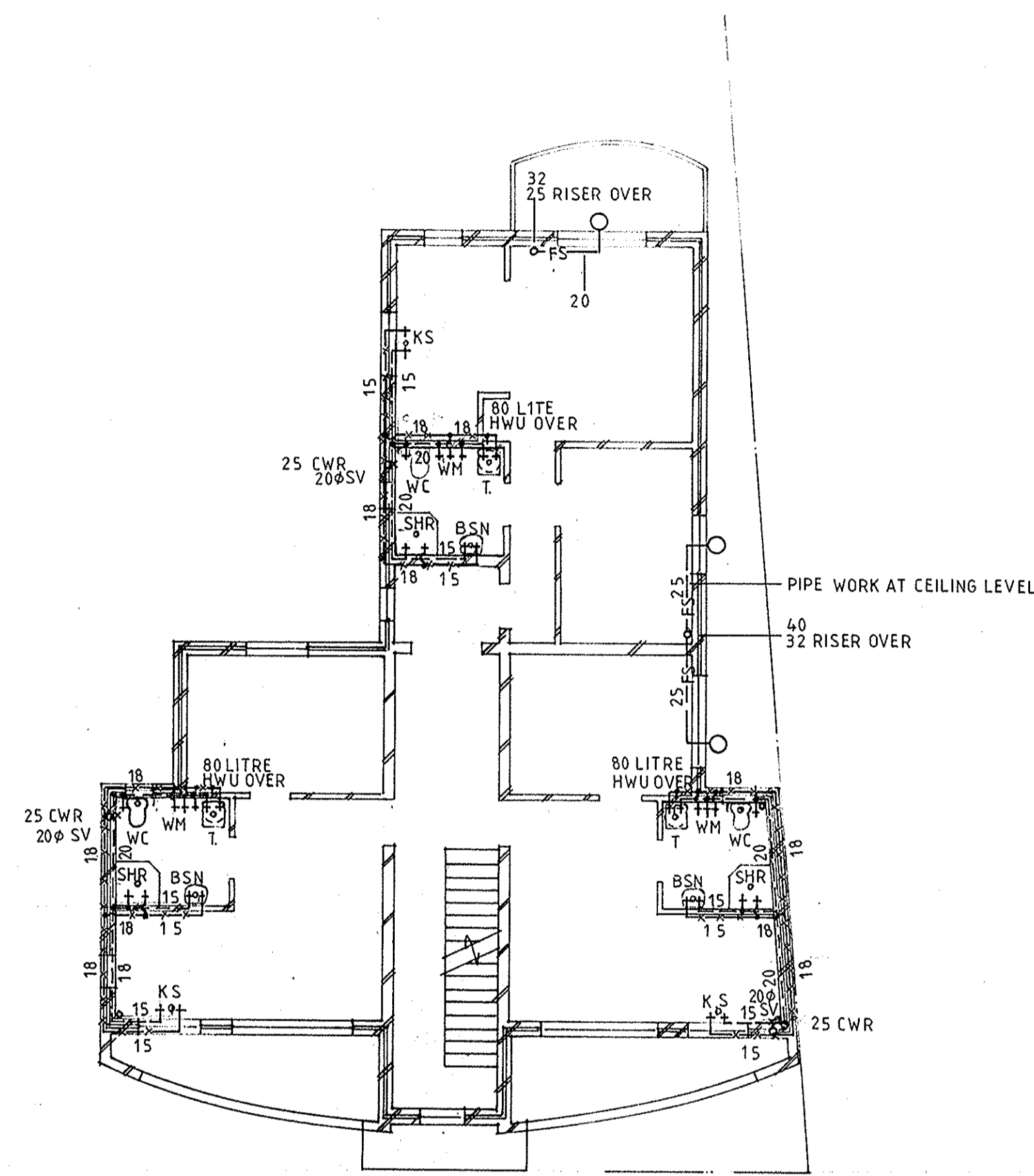


HOT WATER EXHAUST DETAILS
 FIRST & SECOND FLOOR

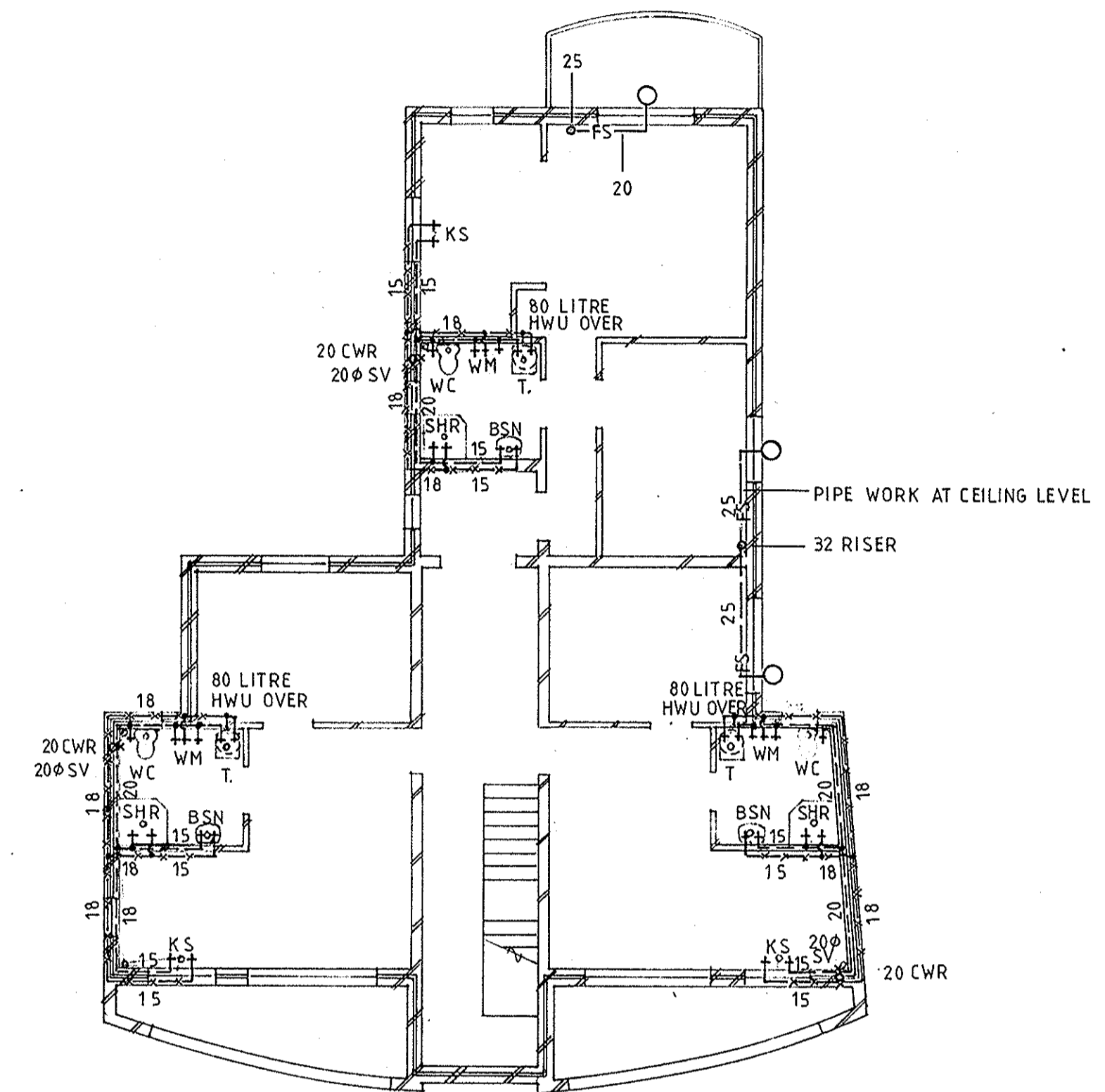
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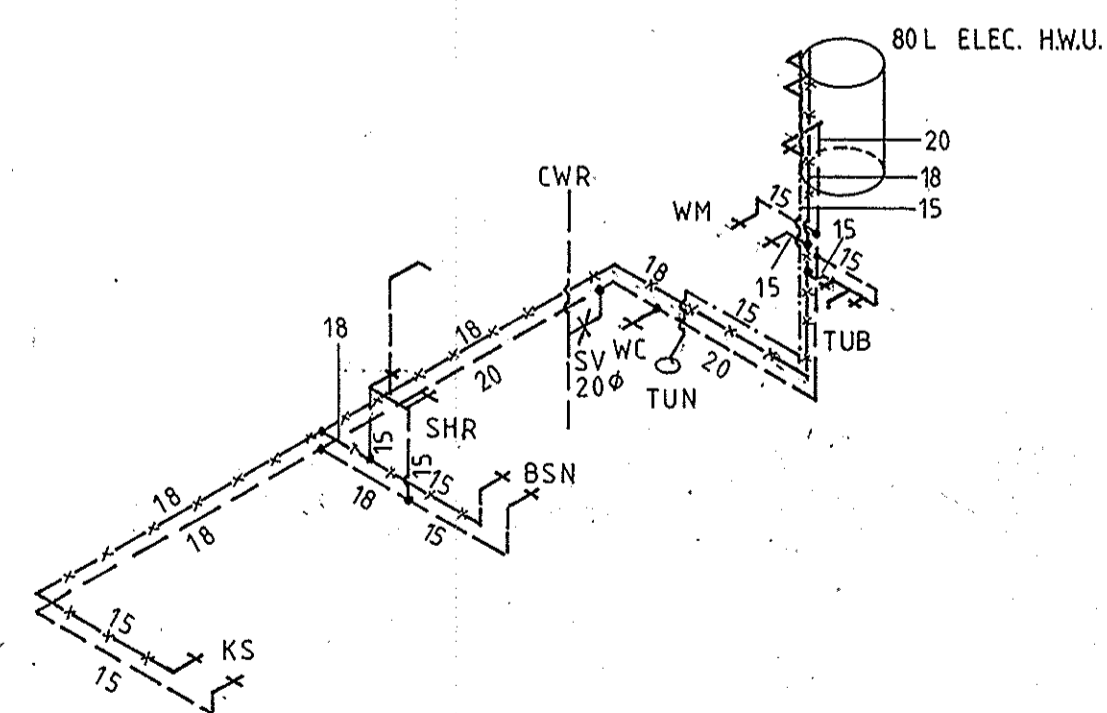
GROUND FLOOR



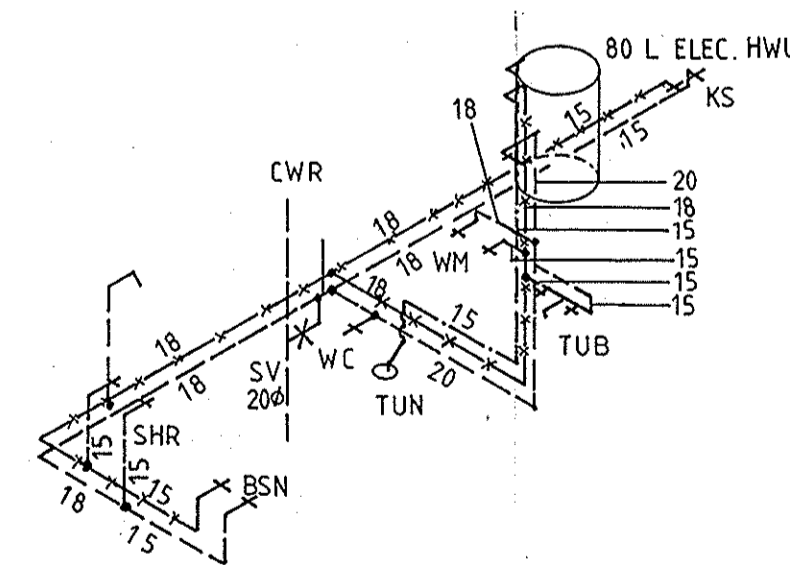
FIRST FLOOR



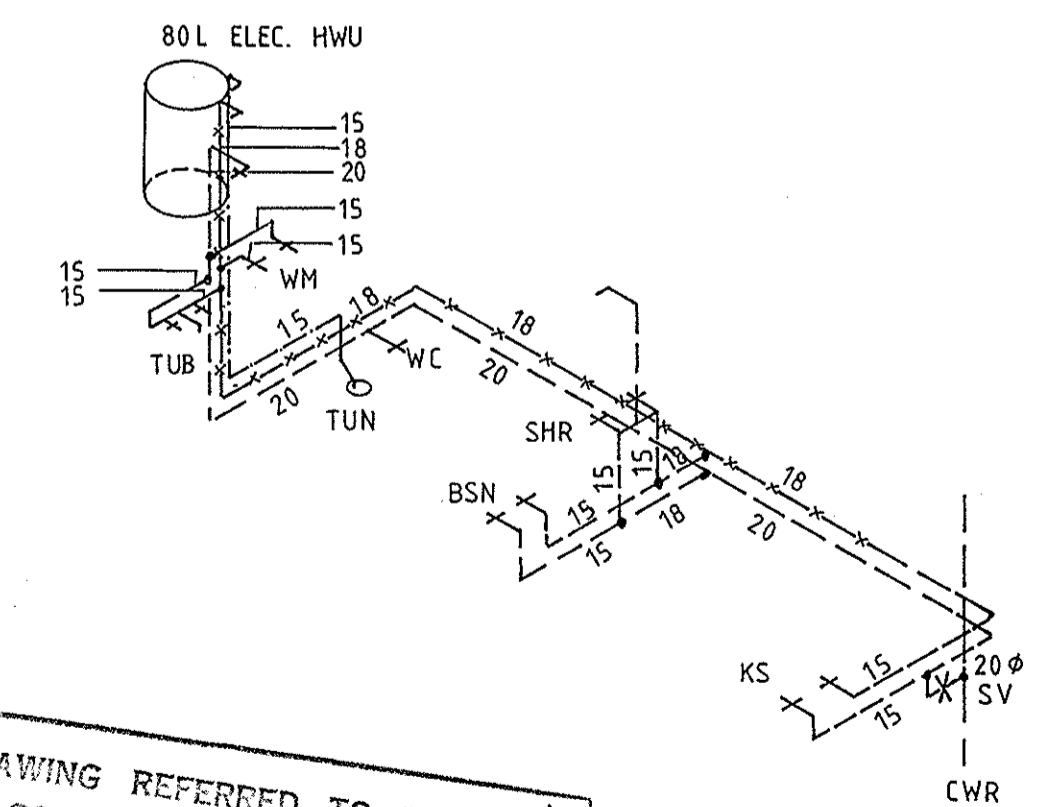
SECOND FLOOR



TYPICAL HOT & COLD WATER LAYOUT UNITS



TYPICAL HOT & COLD WATER LAYOUT UNITS



TYPICAL HOT & COLD WATER LAYOUT UNITS

THIS IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT

REVISION A 24-2-93 SPRINKLER SERVICE
ADDED

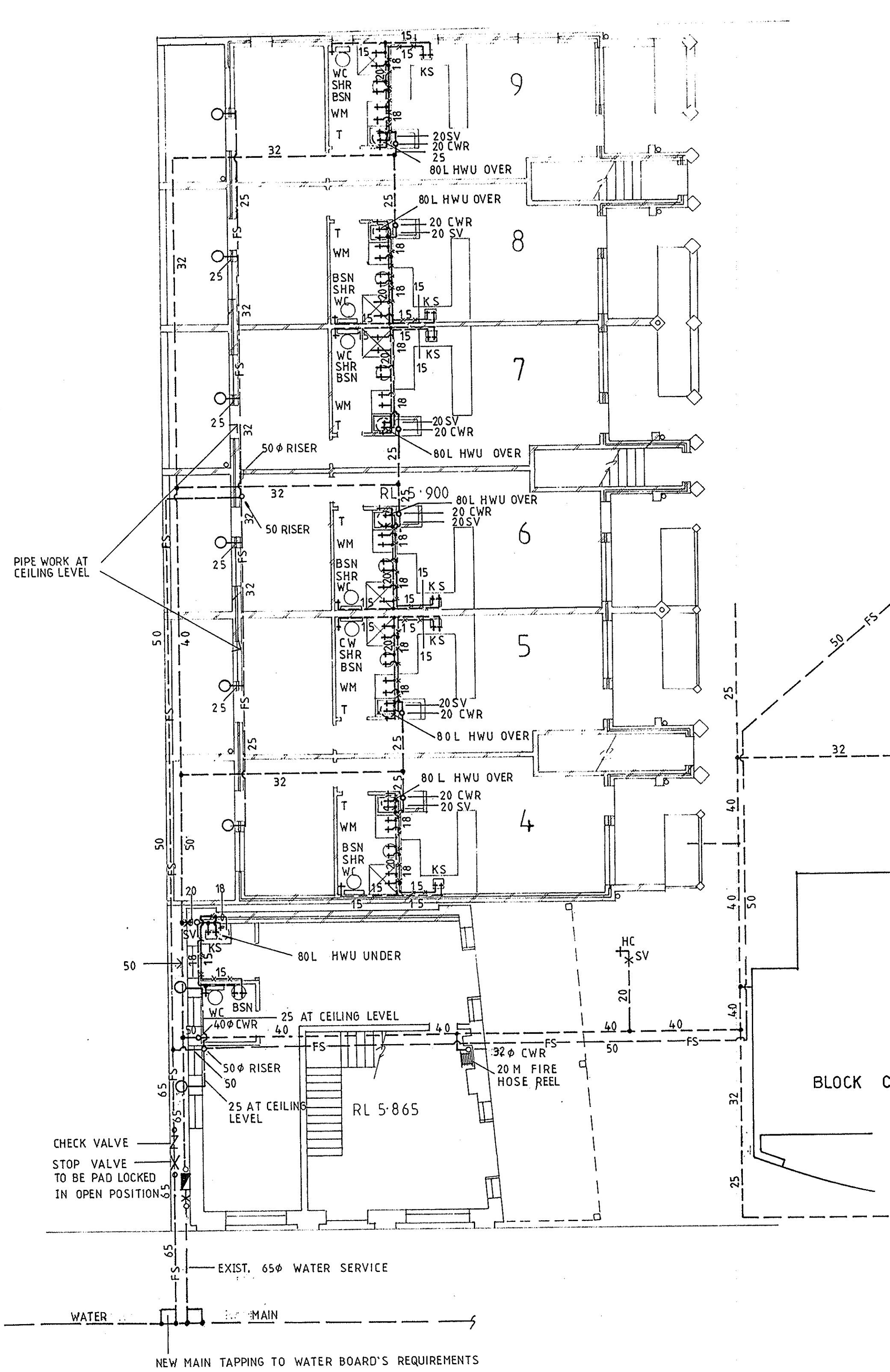
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Approved *[Signature]* Chartered Engineer 6559

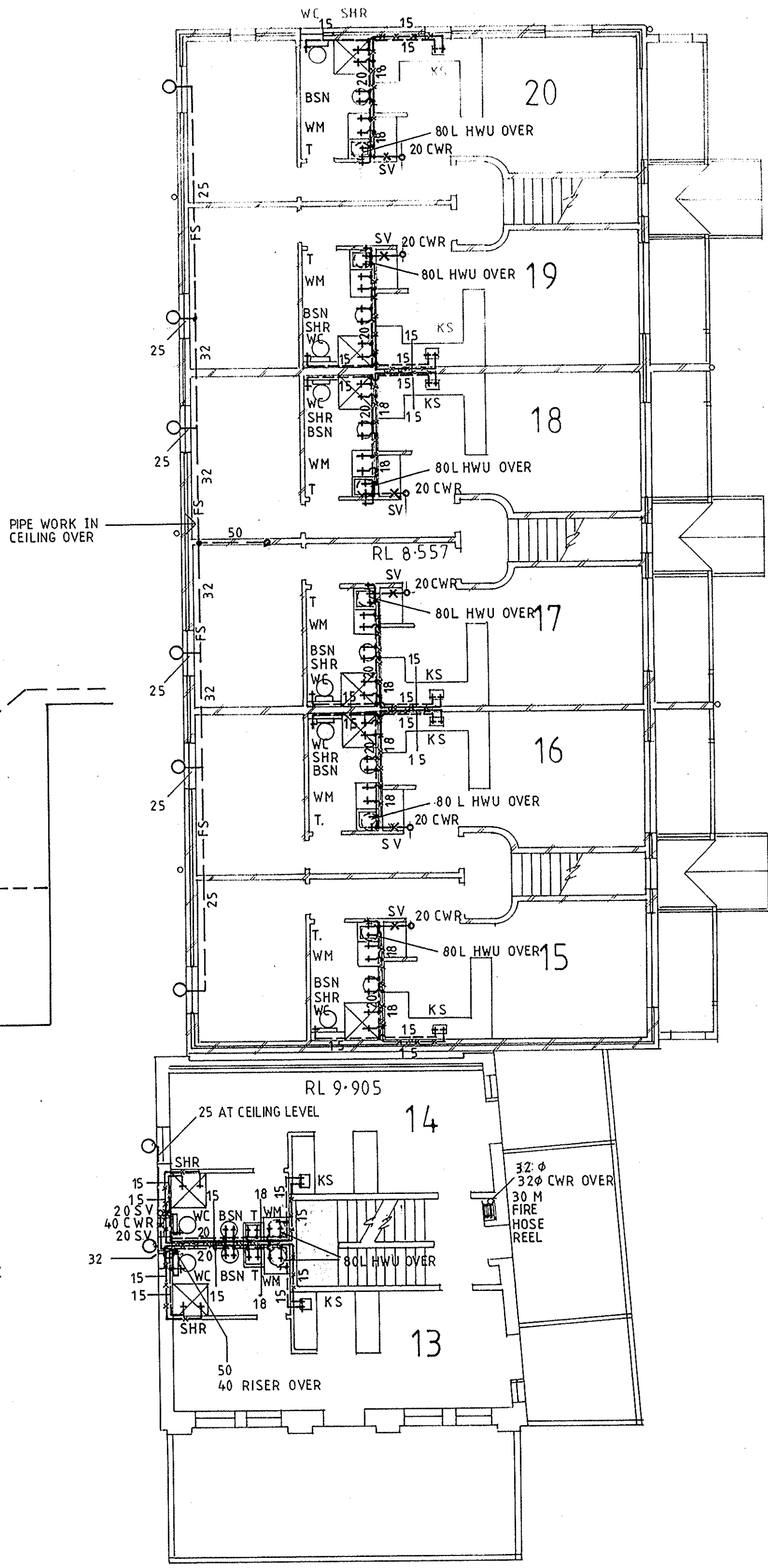
DEPARTMENT OF HOUSING

PROJECT: REHABILITATION AND INFILL
HOUSING
LOCALITY: MANLY
TITLE: BLOCK C HOT & COLD WATER

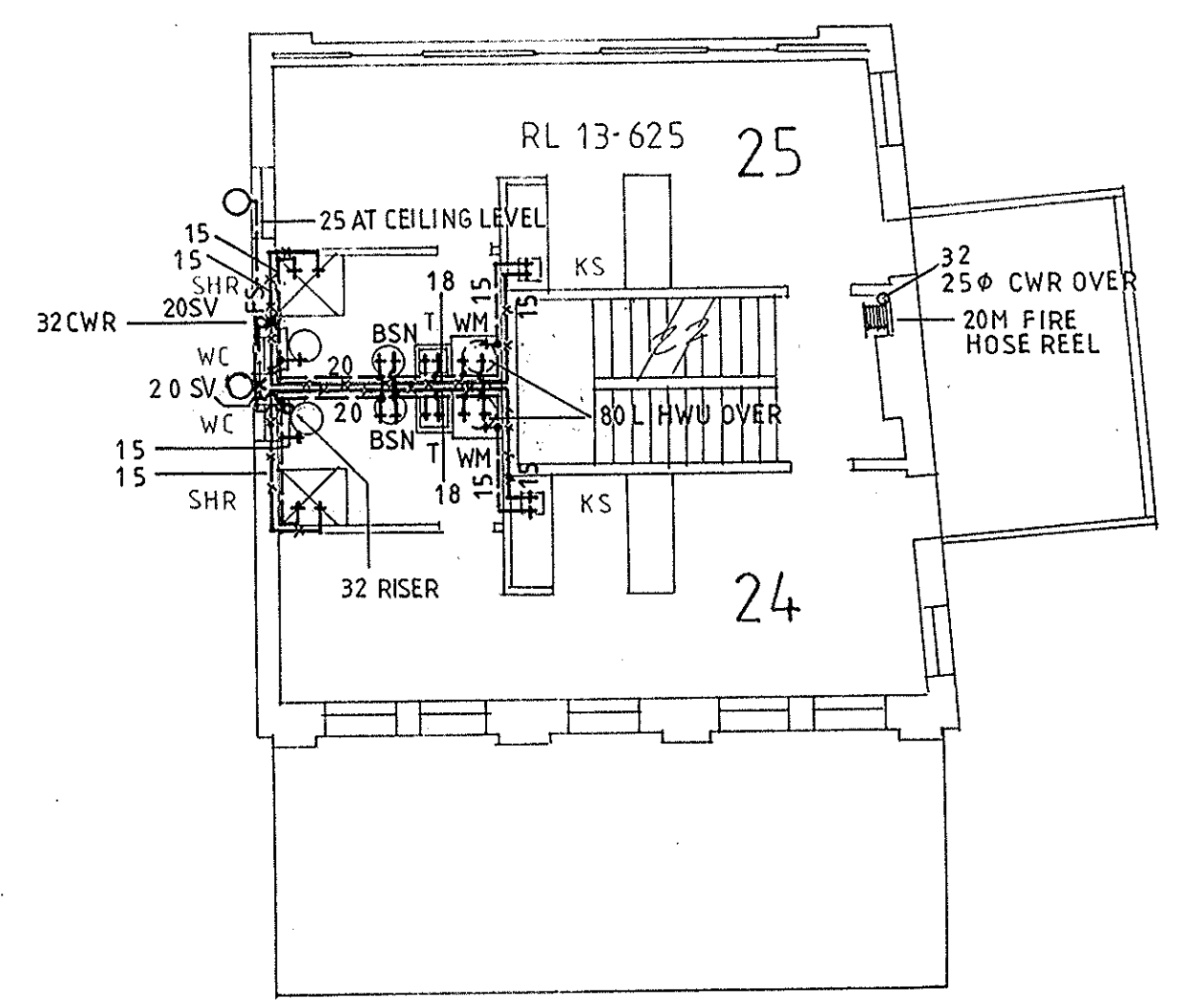
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| SCALE 1:100 1:50 | JOB N° |
| DATE 9-3-92 | 25 108-001-01-02-03 |
| DRAWN R.A. | DWG N° |
| CHECKED D.A.B. | H6 |



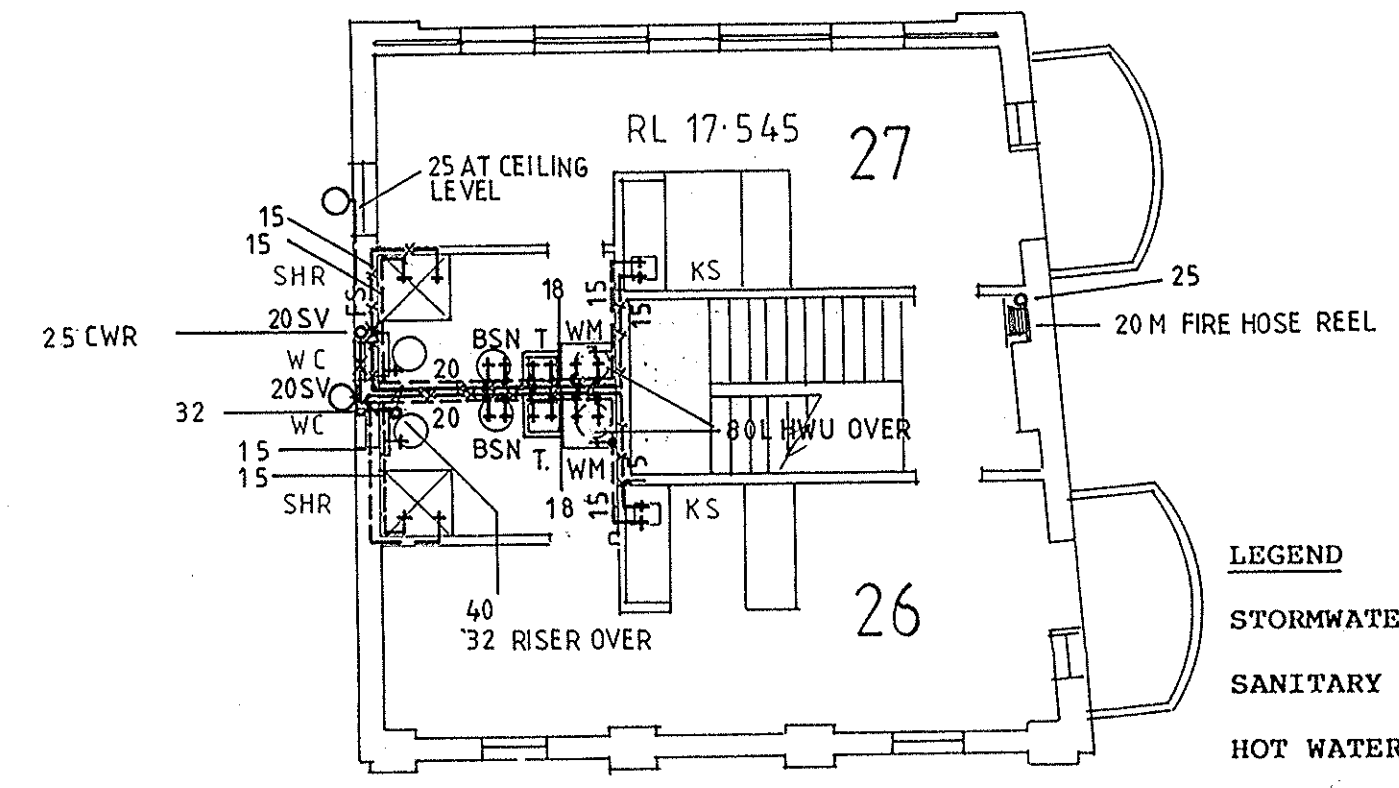
GROUND FLOOR PLAN BLOCK A & B



FIRST FLOOR PLAN BLOCK A & B



SECOND FLOOR PLAN BLOCK A



THIRD FLOOR PLAN BLOCK A

- LEGEND**
- STORMWATER DRAINAGE
 - SANITARY DRAINAGE
 - HOT WATER SERVICE
 - COLD WATER SERVICE
 - FS FIRE SPRINKLER SERVICE
 - FS PIPE SIZE IN MM
- DOWNPIPE NO. 7 (DP 7)
 SANITARY DRAINAGE STACK (ST B3) 1000
 STORMWATER PIT NO. 5 (P 5)
- SPRINKLER HEAD
 - BSN. HAND BASIN
 - W.C. WATER CLOSET
 - SHR SHOWER
 - S. SINK
 - H.C. HOSE COCK
 - W.M. WASHING MACHINE
 - V.P. VENT PIPE
 - F.W. FLOOR WASTE
 - S.V. STOP VALVE
 - TUN TUN DISH
 - CWR COLD WATER RISER

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

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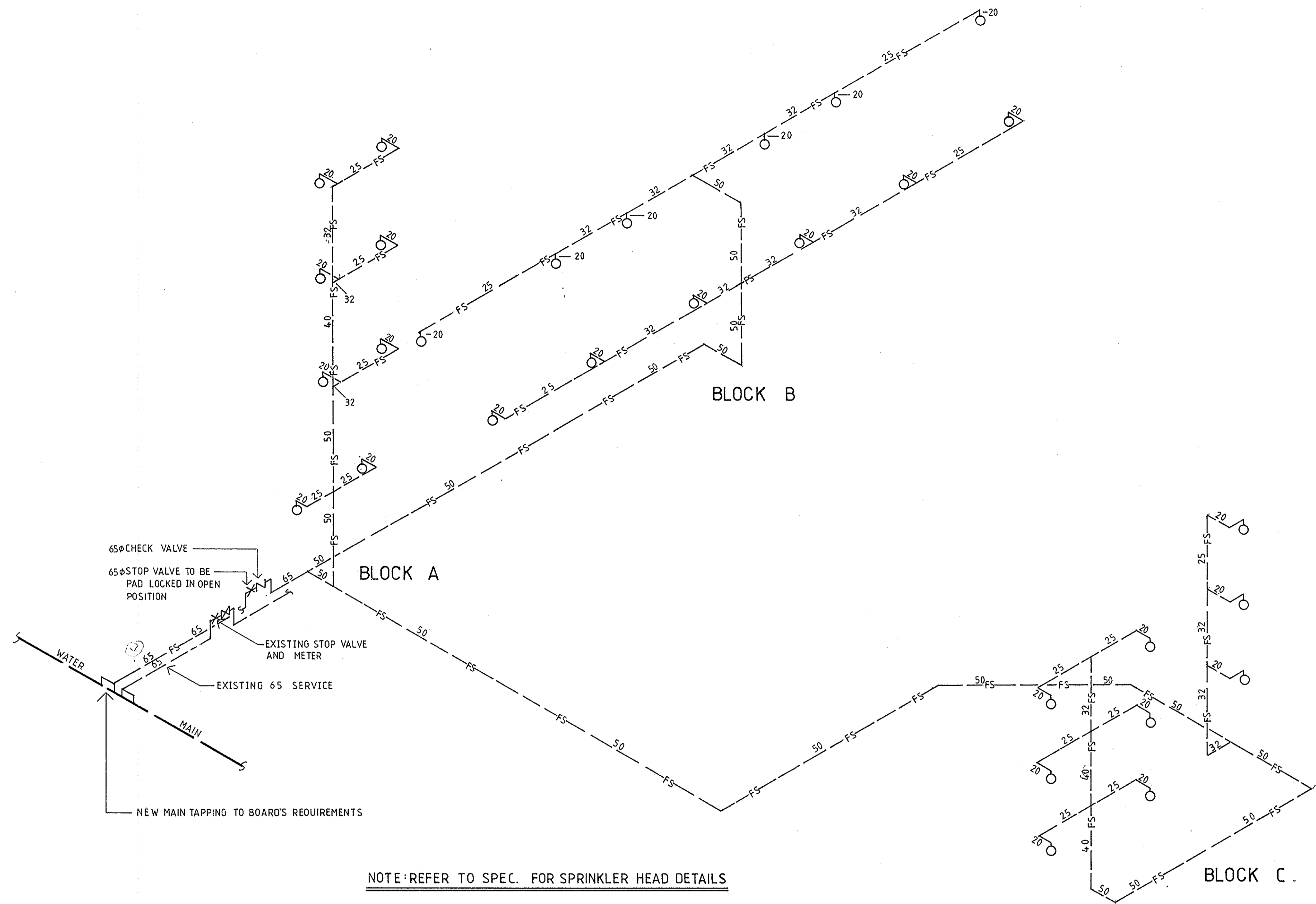
Approved: [Signature] Chartered Engineer 6559

DEPARTMENT OF HOUSING

PROJECT: REHABILITATION AND INFILL HOUSING
 LOCALITY: MANLY
 TITLE: BLOCK A & B HOT & COLD WATER



| | |
|----------------|---------------------------|
| SCALE 1:100 | JOB N° 25108-001-01-02-03 |
| DATE 9-3-92 | DWG N° |
| DRAWN R.A. | H7 |
| CHECKED D.A.B. | |

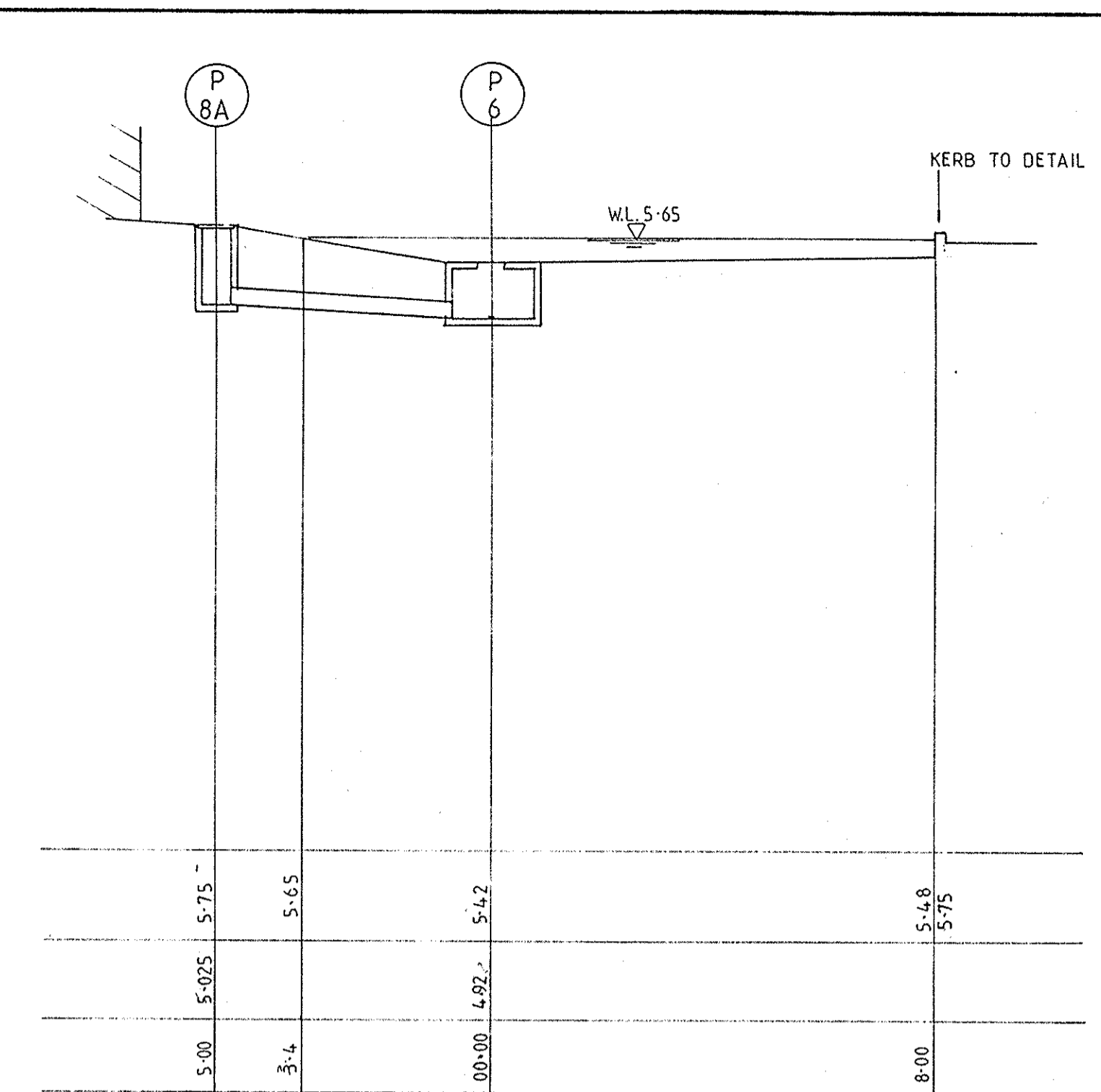
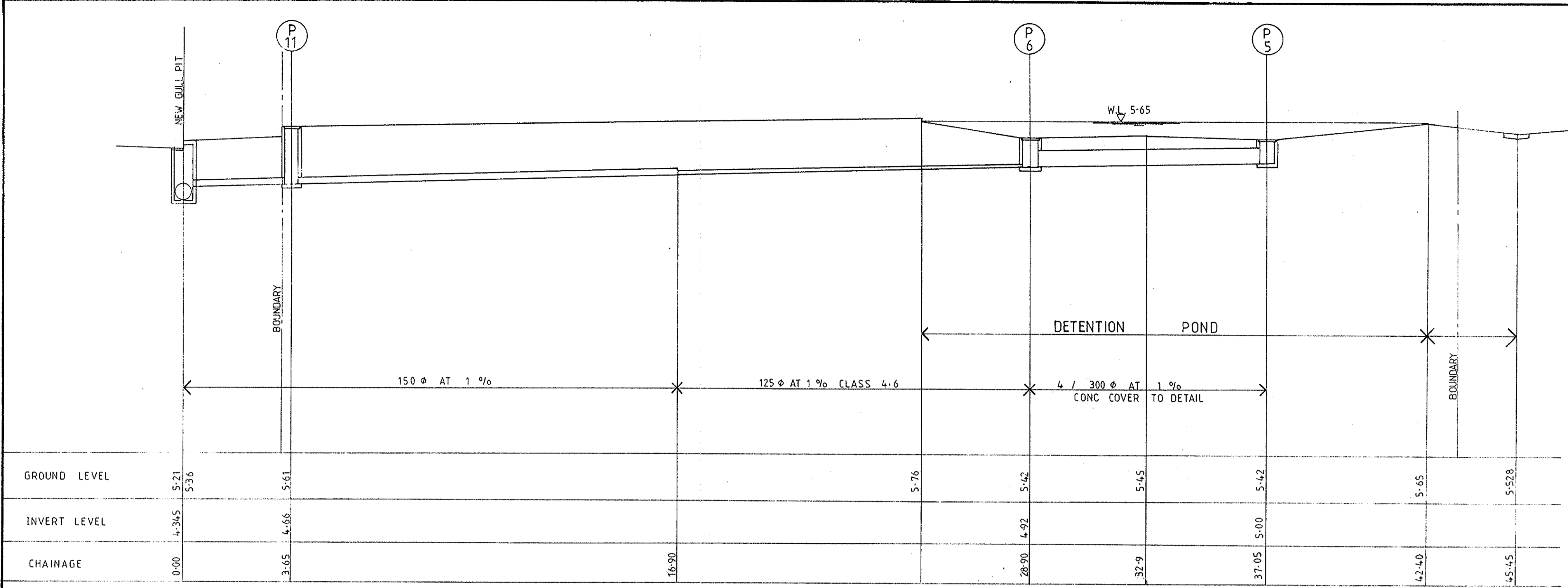
REVISION A 25-2-93 SPRINKLER SERVICE AND FIRE HOSE REELS ADDED



NOTE: REFER TO SPEC. FOR SPRINKLER HEAD DETAILS

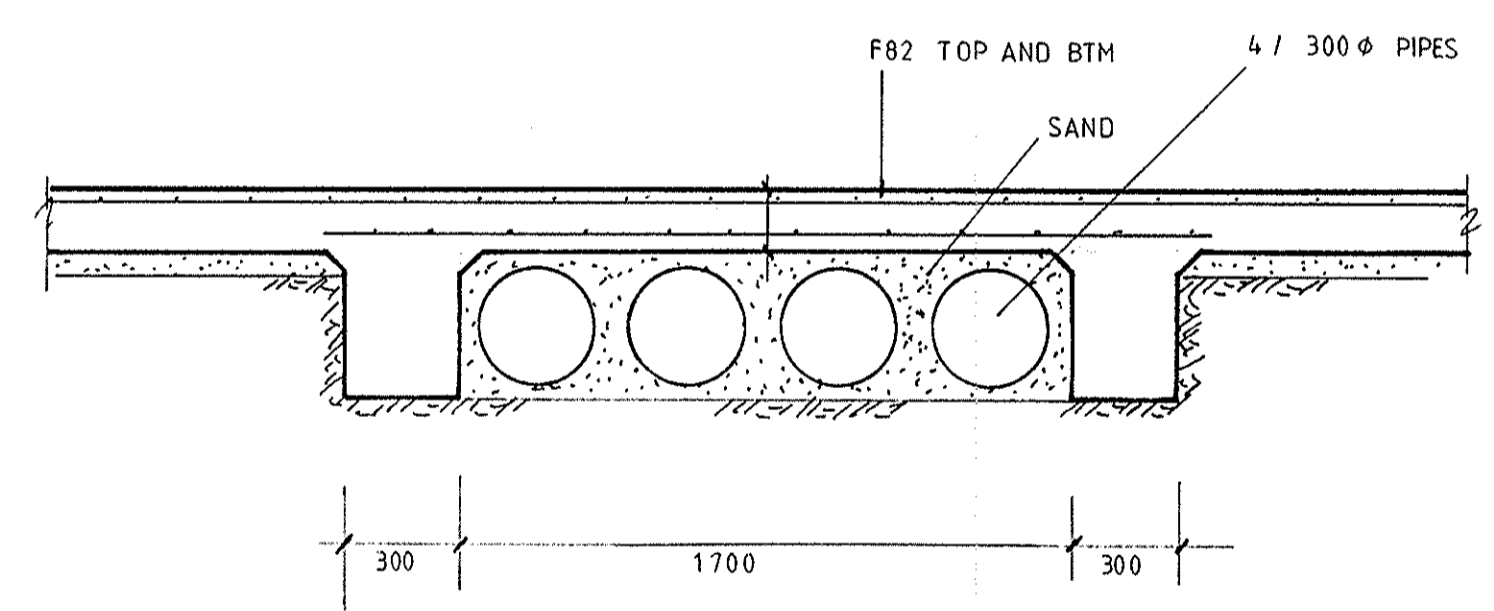
THIS IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT

| | | | | | | | |
|-----------|-----------------|-------------------------------------|----------------|--|--------------------------------------|---|------------------------------|
| MARK A | DATE 24-2-93 | NOTATION SPRINKLER SERVICE ADDED | Scale 1:100 |  | DEPARTMENT OF HOUSING | PROJECT REHABILITATION AND INFILL HOUSING | JOB No 25108-001-01-02-03 |
| | | | Date 24-2-93 | | | Drawn R.A. | LOCALITY MANLY |
| | | | Checked D.A.B. | Approved  Chartered Engineer B & A N° 6559 | TITLE FIRE SPRINKLER SERVICE (WALLS) | | |

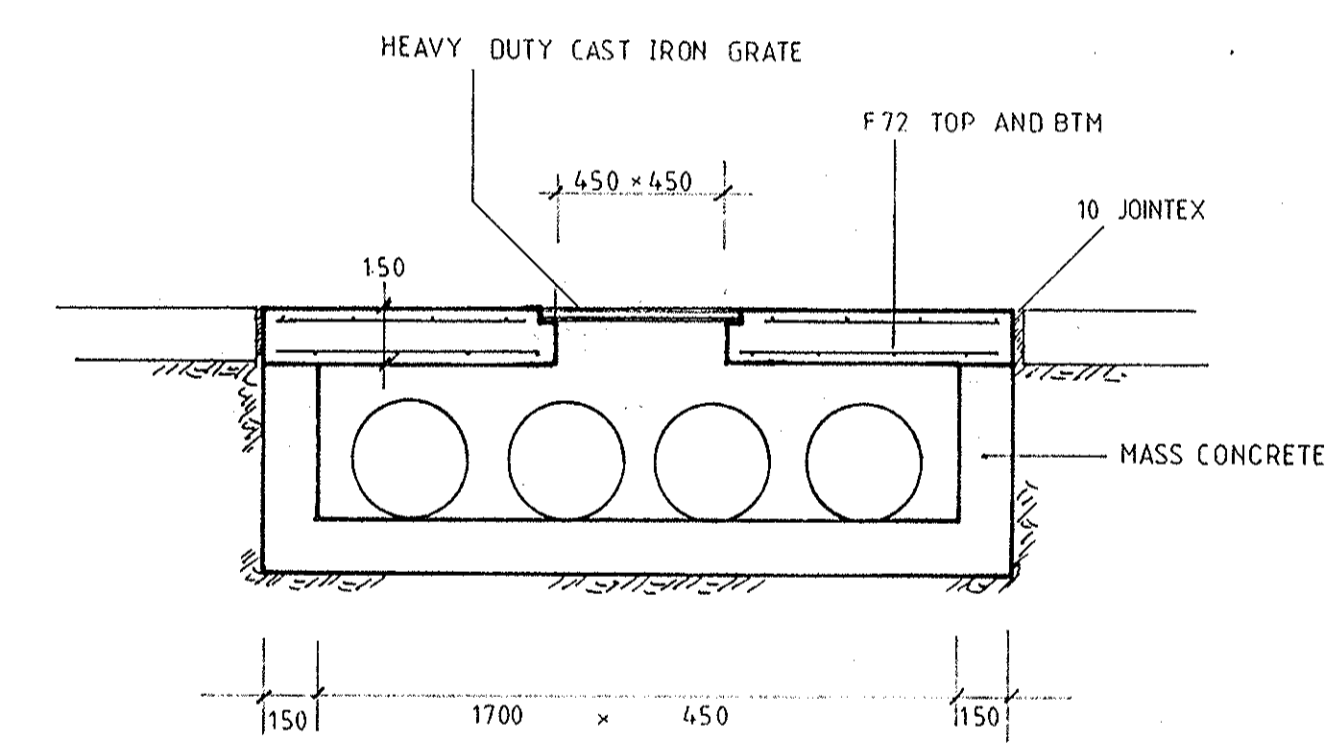


STORMWATER DRAINAGE DISCHARGE LONGITUDINAL SECTION
VERT 1:50 HORZ 1:100

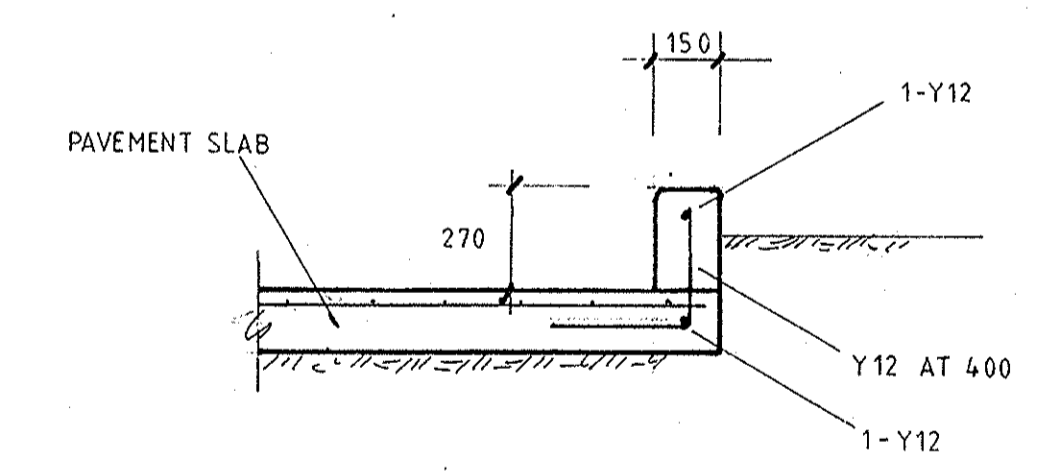
SECTION CH 28-90



DETENTION PIPE DETAIL



PIT DETAIL P5-P6



KERB DETAIL

THIS IS THE DRAWING REFERRED TO IN THE
CONDITIONS OF CONTRACT AND AGREEMENT

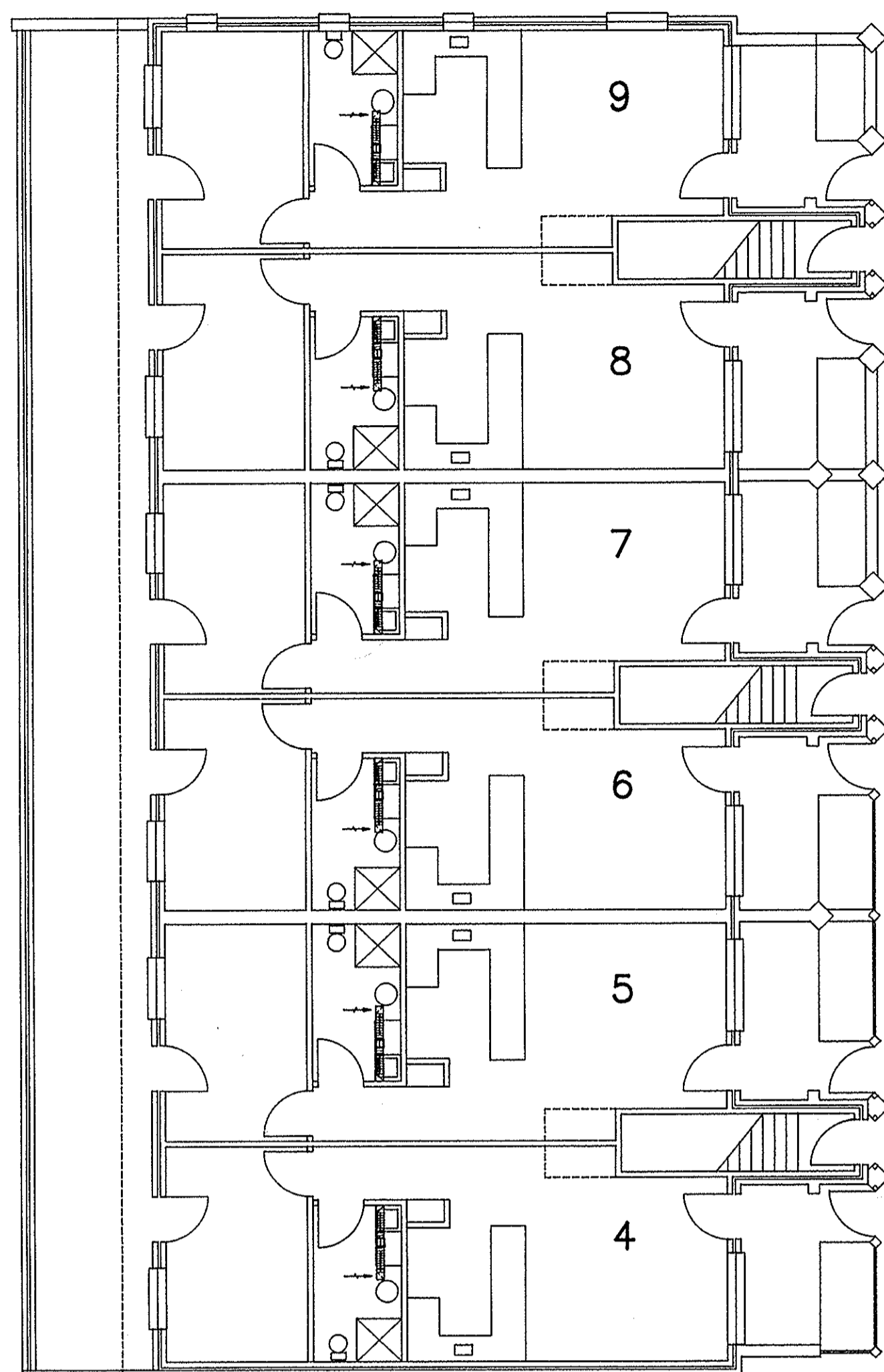
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CONSULTING STRUCTURAL & CIVIL ENGINEERS
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Approved *[Signature]* Chartered Engineer 6559

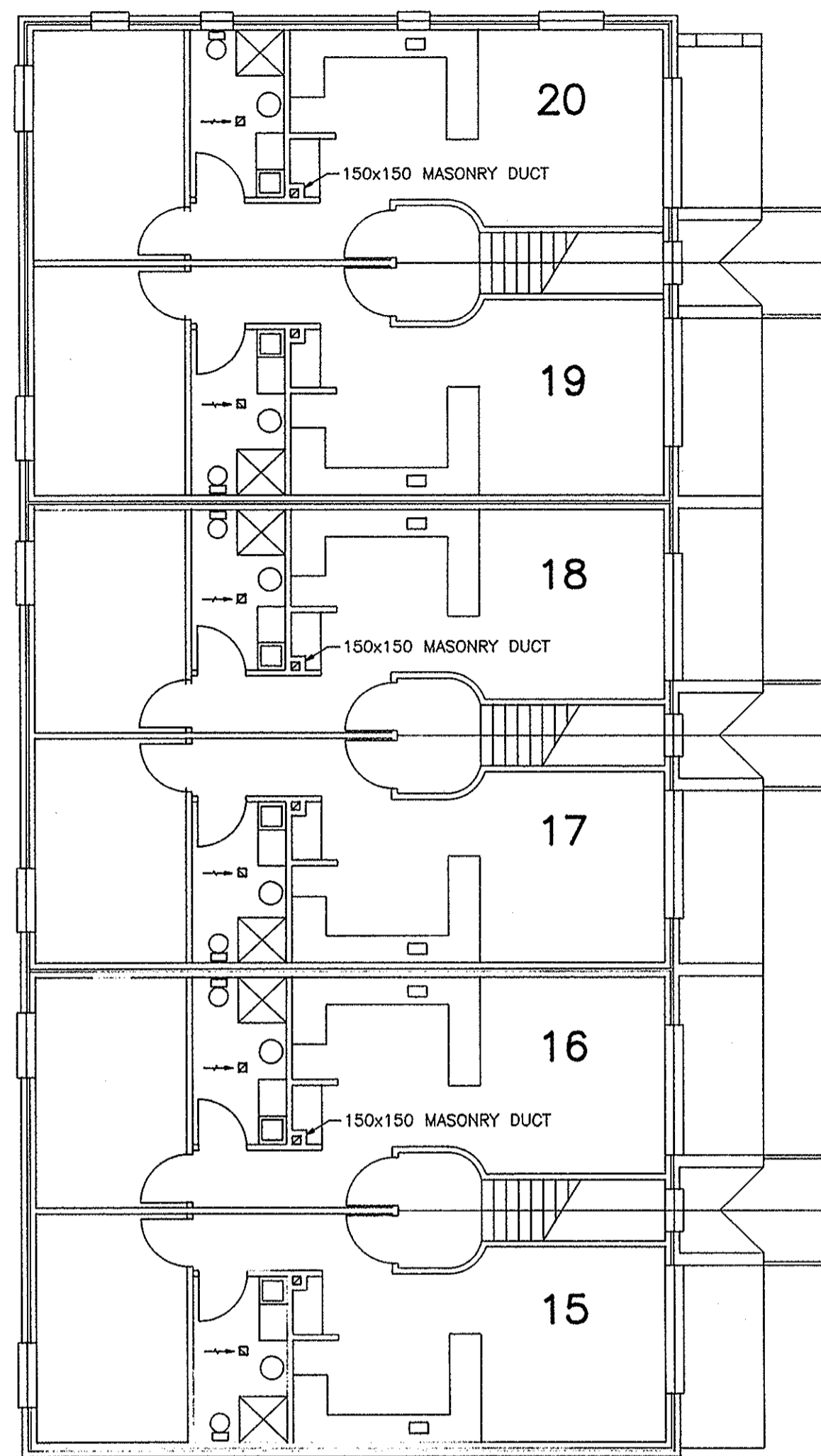
DEPARTMENT OF HOUSING
APPROVED FOR ISSUE
MANAGER

PROJECT: REHABILITATION AND INFILL HOUSING
LOCALITY: MANLY
TITLE: STORMWATER DRAINAGE DETAILS

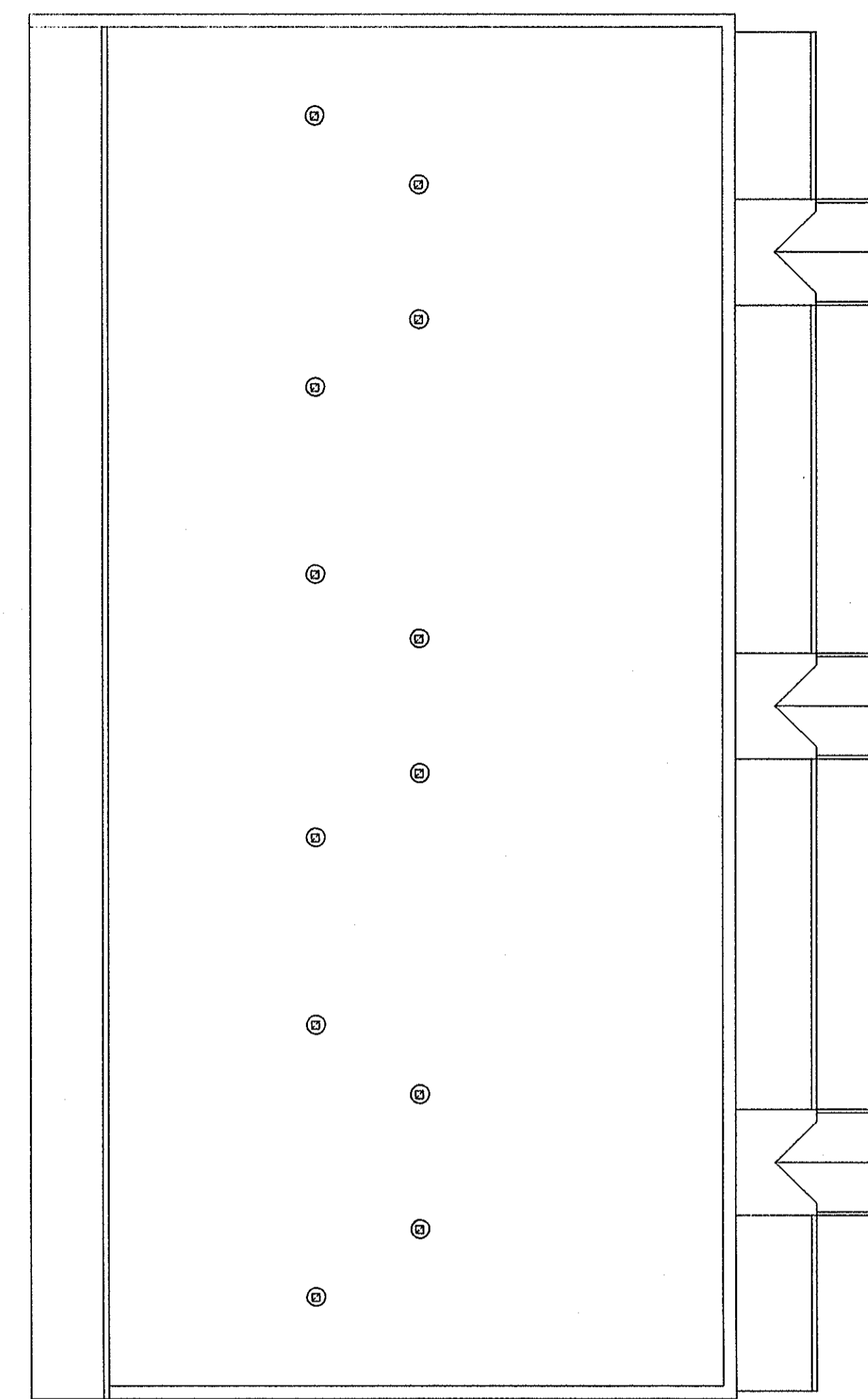
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| DATE 9-3-92 | 25108-001-01-02-03 |
| DRAWN R.A. | DWG. N° |
| CHECKED D.A.B. | H9 |



GROUND FLOOR
1 : 100



FIRST FLOOR
1 : 100



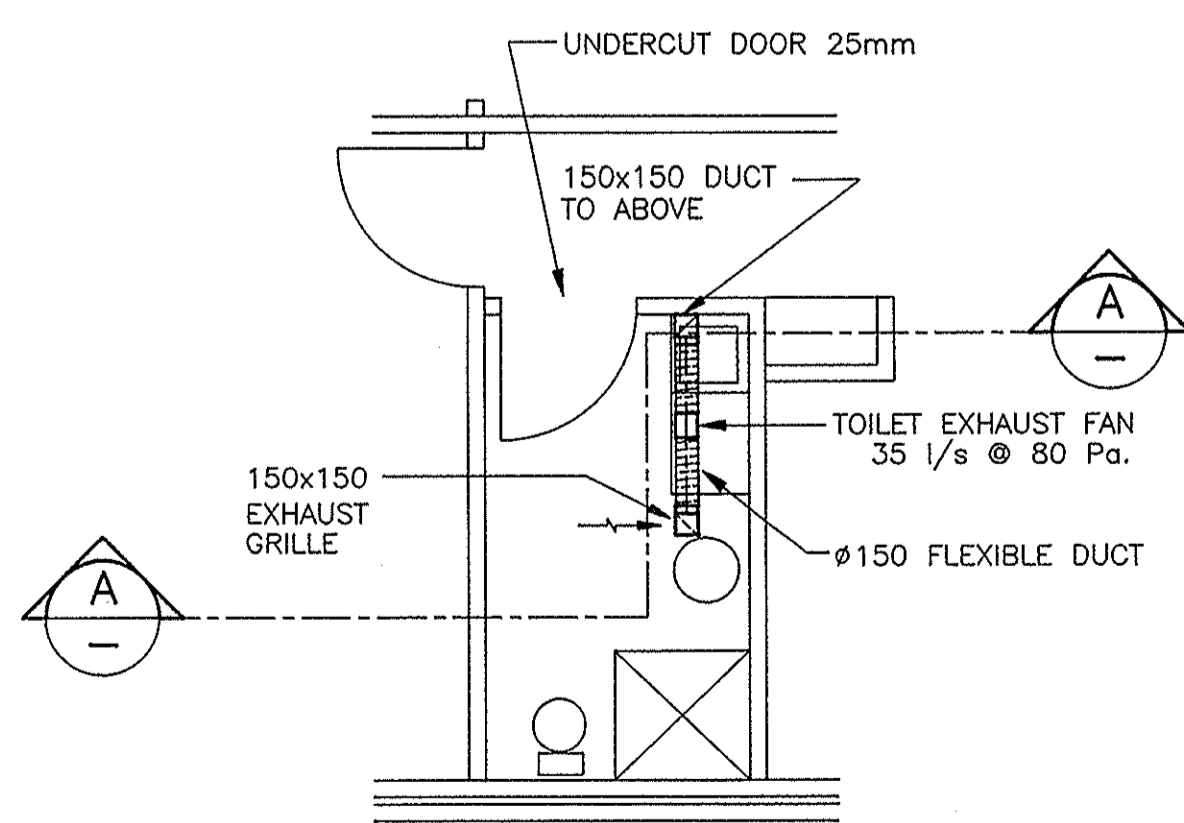
ROOF
1 : 100

SPECIFICATION

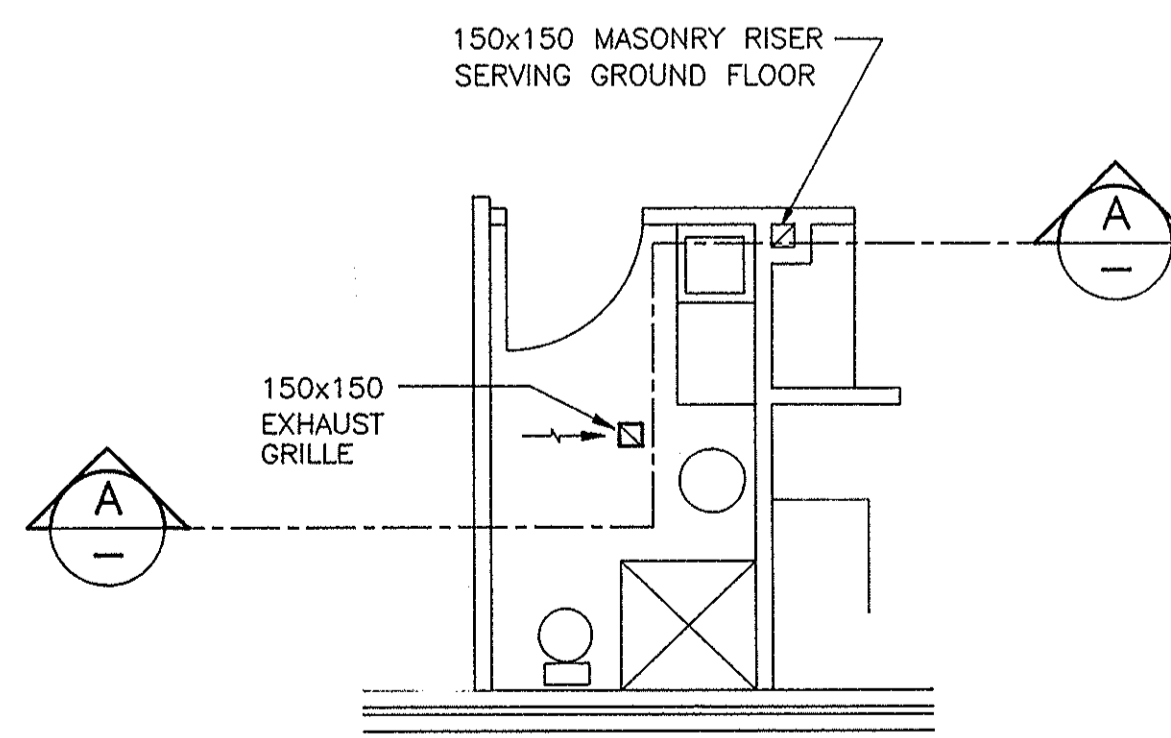
- * ALL RIGID DUCTWORK SHALL BE OF LOCK FORMING QUALITY NEW GALVANISED SHEET CONSTRUCTION TO S.M.A.C.N.A. LOW VELOCITY DUCT MANUAL 4TH EDITION - 1969
- * ALL FLEXIBLE DUCTWORK SHALL BE 'WESTAFLEX' A.P.N. SEMIFLEXIBLE OR SIMILAR.
- * EXHAUST GRILLES SHALL BE 'AIR GRILLES' EG5 OR EQUAL.
- * ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- * TEST ALL GRILLES TO DELIVER AIR QUANTITIES AS SHOWN ON THESE DRAWING WITHIN A TOLERANCE OF +5% -0%
- * ALL EXHAUST FANS SHALL BE 'FANTECH' MT132 OR APPROVED EQUAL.
- * ALLOW FOR THE SUPPLY, DELIVERY, INSTALLATION, TESTING AND COMMISSIONING OF ALL WORK RELATED TO THE MECHANICAL EXHAUST VENTILATION SYSTEMS.

GENERAL NOTES.

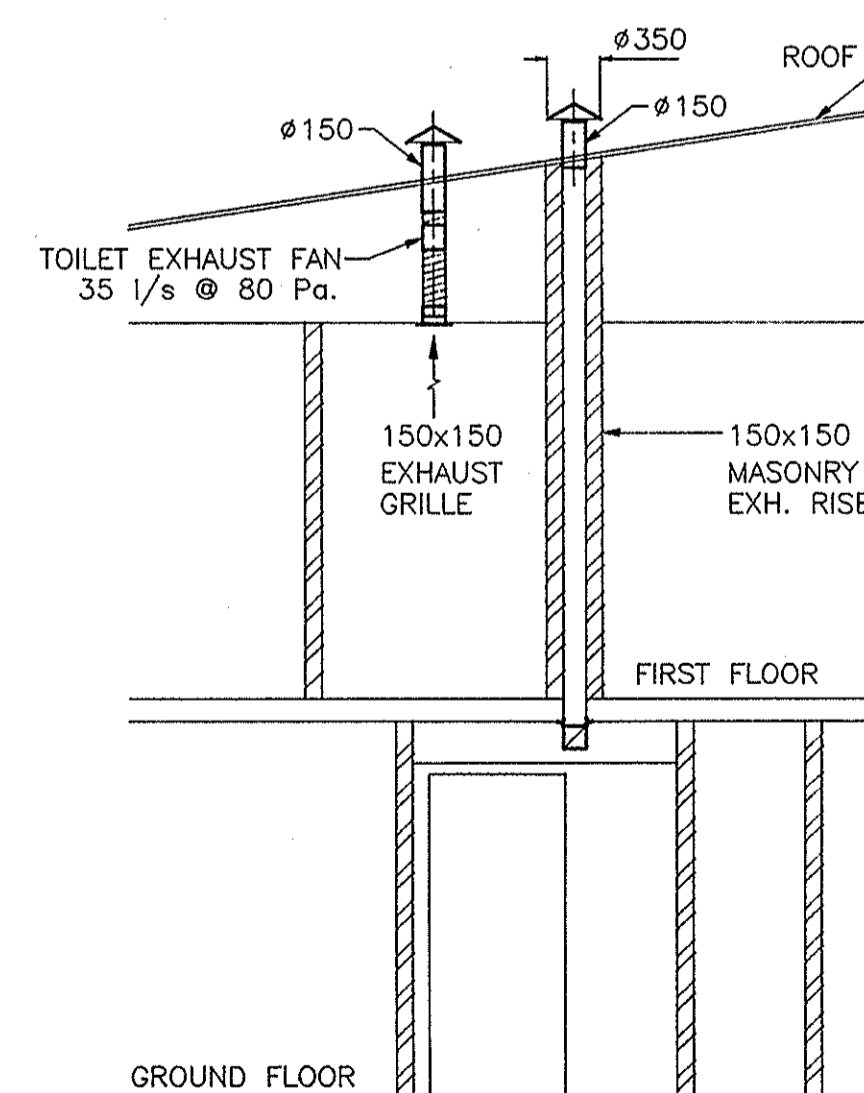
1. DUCT SIZES SHOWN ARE CLEAR AIR PASSAGES.
2. WORK BY ELECTRICAL CONTRACTOR
- ALL ELECTRICAL WIRING AND CONTROLS. (SEE ELECTRICAL SPECIFICATION)
3. WORK BY BUILDER
- TIMBER FRAMES FOR EXHAUST GRILLES IN PLASTER CEILINGS.
- UNDERCUTTING OF DOORS, AS REQUIRED.
- PROVISION OF ACCESS OPENINGS FOR MAINTENANCE OF MECHANICAL EQUIPMENT.
- ALL FURRING IN AND ENCLOSING OF DUCTS, ETC.
- UNDERFLASHINGS. - (OVERFLASHINGS BY MECHANICAL CONTRACTOR)
- PAINTING OF EQUIPMENT EXPOSED TO VIEW.



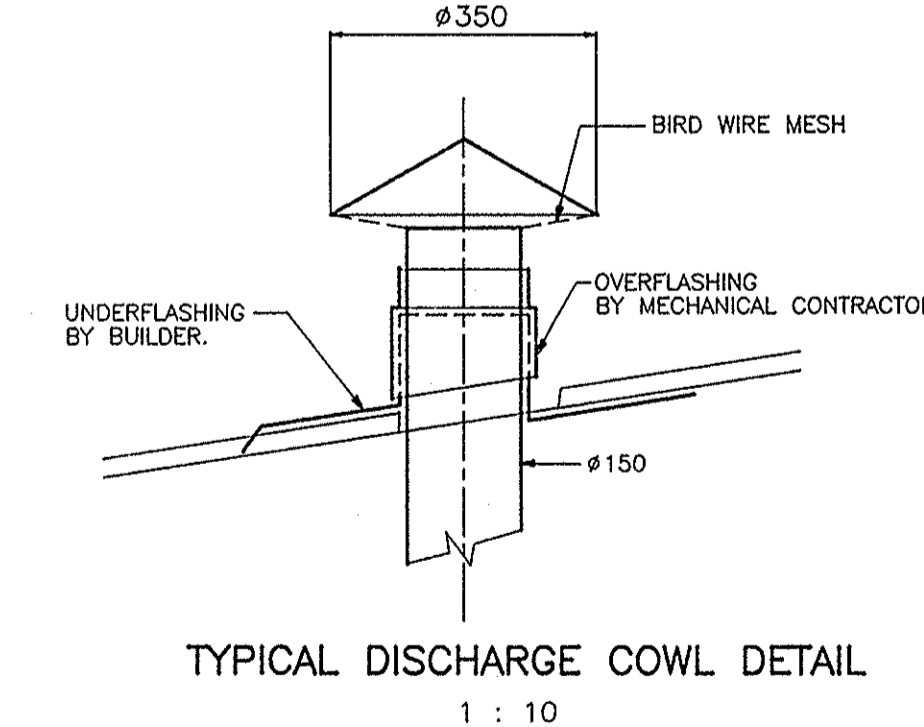
TYPICAL BATHROOM EXHAUST SYSTEM FOR GROUND FLOOR
1 : 50



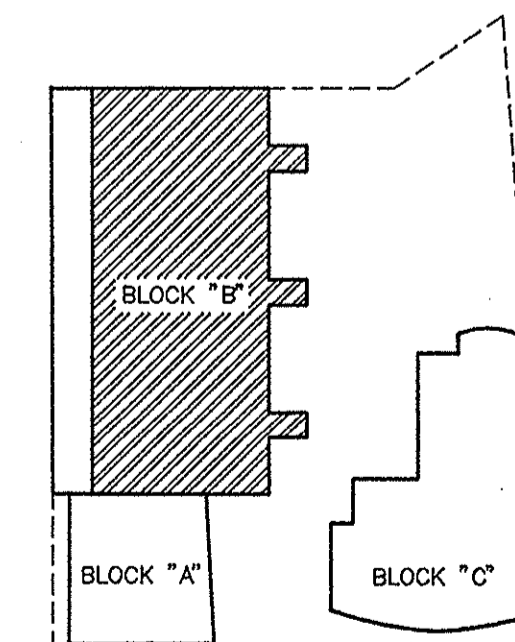
TYPICAL BATHROOM EXHAUST SYSTEM FOR FIRST FLOOR
1 : 50



SECTION A-A
1 : 50



TYPICAL DISCHARGE COWL DETAIL
1 : 10



SITE PLAN
1 : 500

THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

| | | | | |
|--|---|----------|----|------|
| | REV | REVISION | BY | DATE |
| | COPYRIGHT: THIS DESIGN AND PLANS ARE NOT TO BE USED OR REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN PERMISSION OF MPN TIMAR | | | |

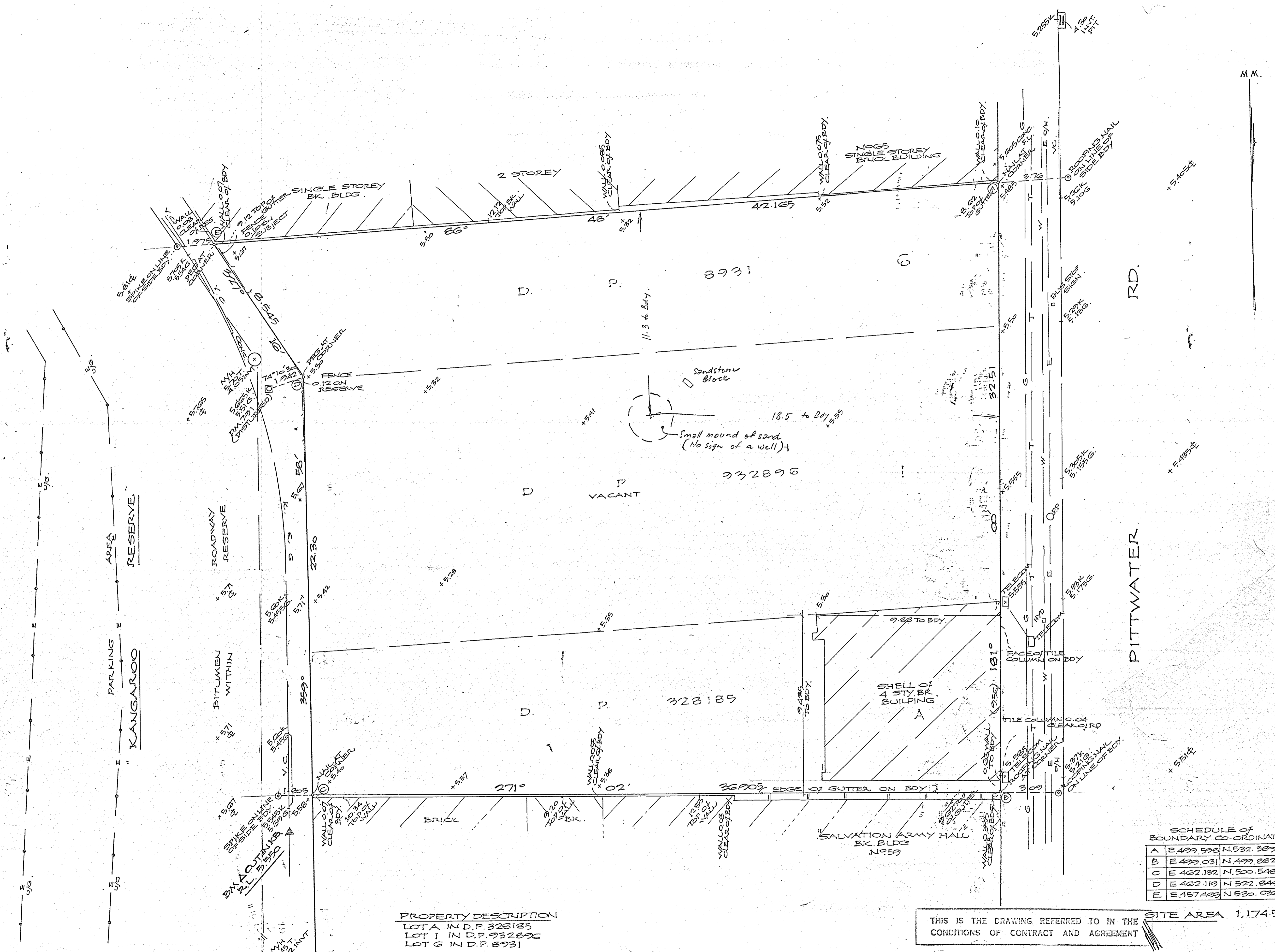
ARCHITECT: INNOVAC DYER ARCHITECTS
47 NERIDAH ST., CHATSWOOD
TEL: 419 7299

PROJECT: REHABILITATION AND INFILL HOUSING
AT: 61-63 PITWATER ROAD, MANLY
FOR: DEPARTMENT OF HOUSING

MPN · TIMAR
BUILDING SERVICES CONSULTING ENGINEERS
3RD FLOOR, 3 NORTHCLIFF ST., MILSONS POINT, NSW 2061
P.O. BOX 443 Tel: (02) 929 5055 FAX: (02) 929 5149

MECHANICAL SERVICES
TITLE: BLOCK "B"
GROUND & FIRST FLOOR

| | | | | | |
|-----------|-------------|------------|----------|------|---------|
| DRAWN | A.P. | APPRD | M.TIMAR | DATE | NOV '91 |
| DESIGN | M.T. | SCALES | AS SHOWN | | |
| No IN SET | JOB No | DRAWING No | REV | | |
| 1 | 25108/1/123 | 1573-M1 | | | |



SCHEDULE OF BOUNDARY CO-ORDINATES

| | | |
|---|-----------|-----------|
| A | E 422.598 | N 532.389 |
| B | E 422.031 | N 499.882 |
| C | E 462.122 | N 500.548 |
| D | E 462.119 | N 522.849 |
| E | E 457.499 | N 630.036 |

PROPERTY DESCRIPTION
 LOTA IN D.P. 328185
 LOT 1 IN D.P. 322896
 LOT 6 IN D.P. 8931

THIS IS THE DRAWING REFERRED TO IN THE SITE AREA 1,174.5m?
 CONDITIONS OF CONTRACT AND AGREEMENT

| No. | DATE | NOTATION/AMENDMENT | No. | DATE | NOTATION/AMENDMENT |
|-----|--------|---|-----|------|--------------------|
| 1 | 3-2-92 | THIS PLAN UPDATES MISC. PLAN NO 13771 AND PART OF MISC. PLAN NO 5253. | | | |

DATE OF SURVEY: 29/1/1992
 SURVEY CONSULTANT:
 TURNIDGE, NAUGHTEN
 & KIMBER PTY. LTD
 17 MOBS LANE
 CARLINGFORD 2118
 PH. 8564222
 SURVEYORS
 REF: 16458 Registered Surveyor

REDUCTION RATIO 1:100
 DATUM: AUSTRALIAN HEIGHT
 CONTOUR INTERVAL: —
 ORIGIN OF DATUM: F.M. 769
 R.L. 5.355
 100 YEAR FLOOD RL:
 RECOMMENDED MINIMUM FLOOR RL:
 SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS

| | | | | | | | | | | | | | | | |
|-------|-----|-------|-----|-------------|-----|---------|-----|-----|-----|----------|-----|------------|---|---------------------|---|
| WATER | —W— | SEWER | —S— | ELECTRICITY | —E— | TELECOM | —T— | GAS | —G— | DRAINAGE | —D— | BENCH MARK | ▲ | SURVEY CONTROL MARK | □ |
|-------|-----|-------|-----|-------------|-----|---------|-----|-----|-----|----------|-----|------------|---|---------------------|---|

DEPARTMENT OF HOUSING

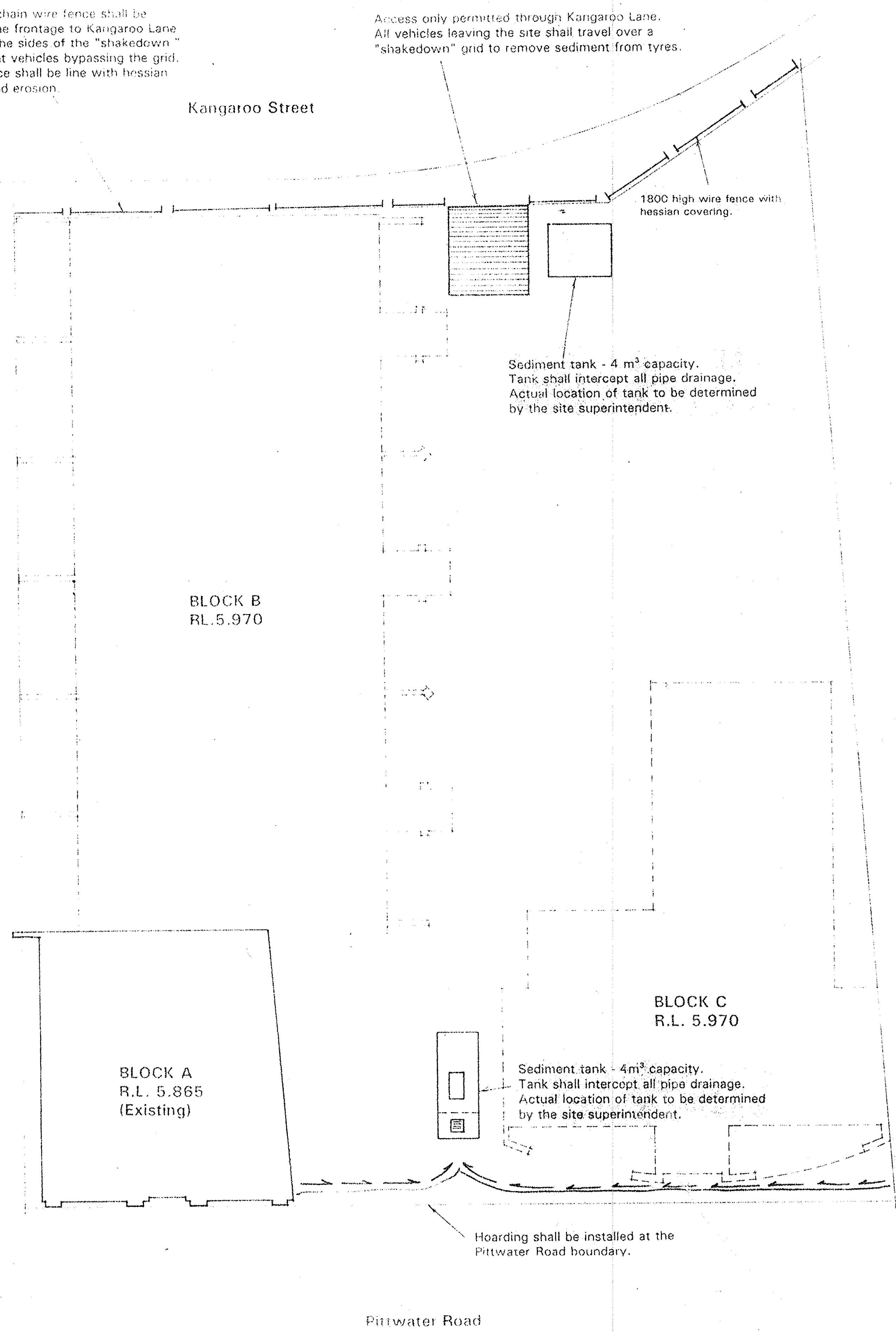
PROJECT 25108 LOCALITY MANLY

DETAIL & LEVELS NOS G1-G3
 PITTWATER RD., MANLY

SHEET No. 1
 OF 1 SHEETS
 INSTRUCTION No. G2205B
 PLAN No. MISC. 25108

1.8 metre chain wire fence shall be installed on the frontage to Kangaroo Lane and fixed to the sides of the "shakedown" grid to prevent vehicles bypassing the grid. A back fence shall be line with hessian to reduce wind erosion.

Access only permitted through Kangaroo Lane. All vehicles leaving the site shall travel over a "shakedown" grid to remove sediment from tyres.



Sediment tank - 4 m³ capacity. Tank shall intercept all pipe drainage. Actual location of tank to be determined by the site superintendent.

Sediment tank - 4m³ capacity. Tank shall intercept all pipe drainage. Actual location of tank to be determined by the site superintendent.

Hoarding shall be installed at the Pittwater Road boundary.

GENERAL INSTRUCTIONS

- This plan is to be read in conjunction with the engineering plans, and any other plans or written instructions that may be issued and relating to development at the subject site.
- The Site Superintendent will ensure that all soil and water management works are located as instructed in this specification.
- All builders and sub-contractors will be informed of their responsibilities in minimising the potential for soil erosion and pollution to downslope lands and waterways.

LAND DISTURBANCE

- Where practical, the soil erosion hazard on the site will be kept as low as possible. To this end, works should be undertaken in the following sequence:
 - install all fences and hoarding for the site.
 - locate a 1.8 metre chain wire fence along the boundary to Kangaroo Street and attach hessian cloth to it on the windward side (ties at the top, centre and bottom and at 1 metre intervals);
 - construct "silt" fencing along boundary to Kangaroo Lane (figure 1);

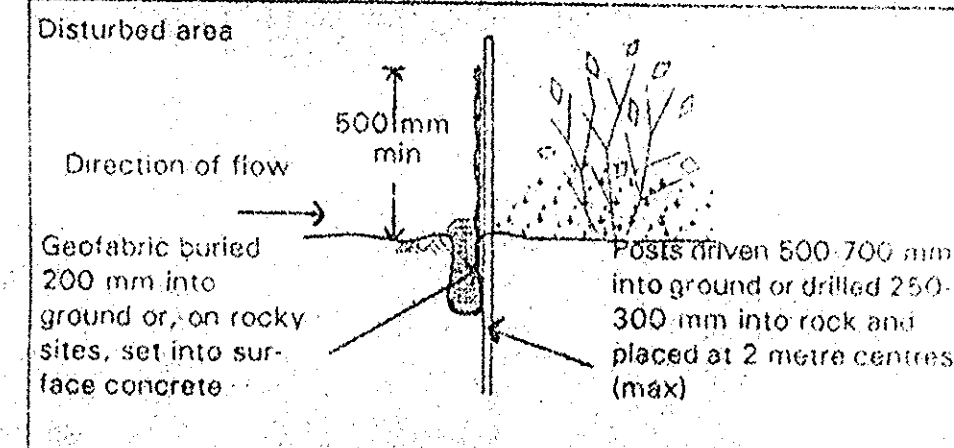


Figure 1 Construction of a geofabric lined "silt" fence

- construct Sediment Basins 1 and 2;
- install geofabric "silt" fence sediment traps to all drainage inlet pits;
- install diversion bank along eastern boundary to Pittwater Road;
- rehabilitate disturbed lands within 20 working days;
- undertake site development works in accordance with the engineering plans. Where possible, phase development so that land disturbance is confined to areas of workable size.

EROSION CONTROL

- Temporary protection from erosive forces will be undertaken on lands where final shaping has not been completed but works are unlikely to proceed for periods of two months or more (e.g. on topsoil stockpiles). This may be achieved with a vegetative cover. A recommended listing of plant species for temporary cover is:
 - Autumn/Winter sowing -oats/ryecorn @ 20 kg/ha
 - Japanese millet @ 10 kg/ha
 - Spring/Summer sowing -Japanese millet @ 20 kg/ha
 - oats/ryecorn @ 10 kg/ha
 Where practicable, foot and vehicular traffic should be kept away from any such rehabilitated areas.
- Diversion banks (Figure 2) will be rehabilitated as soon as possible and within 5 working days from their final shaping. Other than in the winter months, suitable materials include turf grasses such as couch or kikuyu. During winter, or at other times when temporary rehabilitation (<3 months) is required, it is suggested that hessian cloth is used but only if tacked with an anionic bitumen emulsion. Foot and vehicular traffic should be kept away from these areas.
- During windy weather, large, unprotected areas will be kept moist (not wet) by sprinkling with water to keep dust under control.
- Final site landscaping will be undertaken on each precinct as soon as possible and within 20 working days from completion of construction activities.

SEDIMENT CONTROL

- The sediment sumps (figure 2) will be constructed with minimum wet sediment capacities of:
 - 4 cubic metres for Sediment Basin 1
 - 4 cubic metres for Sediment Basin 2

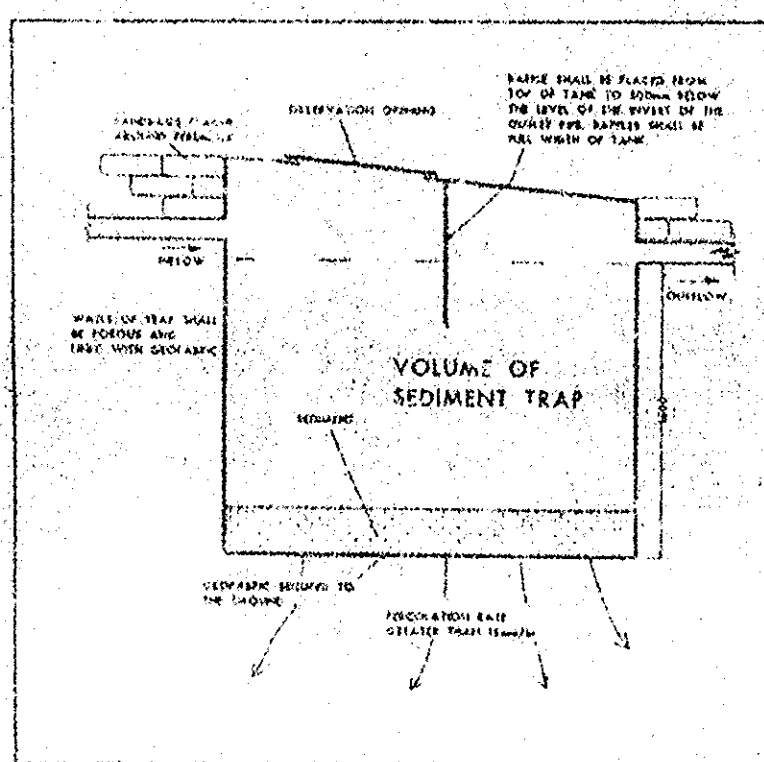


Figure 2 Typical sediment tank

Artificial flocculation of the finer particles is not necessary in this instance.

Note - In relation to the Universal Soil Loss Equation, the calculation of these capacities has assumed the:

- rainfall erosivity (R) factor is 3 900
- soil erodibility (K) factor is 0.005
- slope length (L) factor is 40 (metres)
- slope gradient (S) factor is 2 (percent) ^{1.5 - 1.75}
- erosion control practice (P) factor is 1.3
- ground cover (C) factor is 1.0

giving an annual average soil loss from sheet and rill erosion of 5.5 tonnes per hectare of disturbed catchment per year (just over 7 cubic metres).

- Stockpiles will not be located within 2 metres of hazard areas, including likely areas of concentrated or high velocity flows such as waterways, paved areas and driveways. Where they are between 2 and 5 metres from such areas, special sediment control measures should be taken to minimise possible pollution to downslope waters, e.g. through installation of "silt" fencing.
- Any sand used in the concrete curing process (spread over the surface) will be removed as soon as possible and within 10 working days from placement.
- Water will be prevented from entering the permanent drainage system unless it is relatively sediment free, i.e. the catchment area has been permanently landscaped and/or any likely sediment has been filtered through an approved structure.
- Temporary soil and water management structures will be removed only after the lands they are protecting are rehabilitated.

OTHER MATTERS

- Acceptable receptors will be provided for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter.

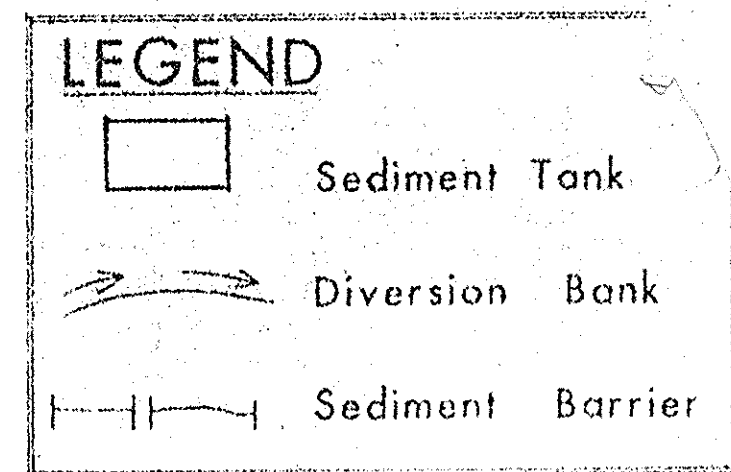
SITE INSPECTION & MAINTENANCE

- Receptors for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter are to be emptied as necessary. Disposal of waste shall be in a manner approved by the site superintendent.
- At least weekly, the contractor will inspect the site and ensure that:
 - drains operate effectively and initiate repair or maintenance as required;
 - silted sand (or other materials) is removed from hazard areas, including likely areas of concentrated or high velocity flows such as waterways, gutters, paved areas and driveways;
 - sediment is removed from traps when less than 5 cubic metres of trapping capacity remain and/or less than 500 millimetres depth remains in the settling zone. Any collected sediment will be disposed in areas where further pollution to downslope lands and waterways is unlikely;
 - rehabilitated lands have effectively reduced the erosion hazard and initiate upgrading or repair as appropriate.

- The site supervisor shall keep a log book recording:
 - all rainfall events;
 - volumes of water discharged from any sediment tank;
 - all other maintenance work undertaken on erosion or pollution control structures;
 - results of any inspection.

The log book will be kept on site and be made available to any officer of the EPA or Department of Housing upon request.

- The sediment tanks will be inspected after every storm event large enough to produce runoff; and
 - sediment will be removed when less than two thirds of the design capacity remains in the settling zone and/or exfiltration drops below 15 millimetres per hour. Where exfiltration rate continues below 15 millimetres per hour after removing the sediment from the sump, the sump will be exhumed and the geofabric replace.



THIS IS THE DRAWING REFERRED TO IN THE CONDITIONS OF CONTRACT AND AGREEMENT

MORSE McVEY & ASSOCIATES Pty Ltd
ENVIRONMENTAL ENGINEERING - PO Box 3062 NORTH MOUNTAIN NSW 2541
TEL (064) 61 8189 FAX (064) 21 4659

| | | |
|--------------------|------------------|---------------------|
| DESIGN R. Morse | DRAWN S. Boag | CHECKED G. McVey |
| SCALE | APPROVED | DATE Jan 1993 |

| | |
|------------------------------|------------------------|
| SITE/PRECINCT 25108 | NAME PITTWATER ROAD |
| LOCALITY MANLY | LGA WAGGINGAH |
| FILE No. | PLAN No. 5129/51 |
| SOIL & WATER MANAGEMENT PLAN | |
| SHEET No. 2 OF SHEETS | |

| | | | | | | | | | | | | | | |
|-------------|-----------------|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|-----|
| 10 | 20 | 30 | 40 | 50 | 60 | 70 | 80 | 90 | 100 | 110 | 120 | 130 | 140 | 150 |
| Scale of mm | | | | | | | | | | | | | | |
| DESIGNED BY | Reduction Ratio | | | | | | | | | | | | | |
| CHECKED BY | | | | | | | | | | | | | | |
| DRAWN BY | | | | | | | | | | | | | | |
| DATE | | | | | | | | | | | | | | |

| | | | | | |
|------------|---|---|---|---|-----------|
| AMENDMENTS | A | B | C | D | Approvals |
| Date | | | | | |

